



PLAN COMMISSION AGENDA

August 13, 2026 – 6:00 pm
Village Hall
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: <https://www.youtube.com/live/KWQ9se9HIng?si=kMZ68Mig7toy92KP>

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.
2. Public Hearings.
 - a. Conditional Use Grant request of applicant Christian Brothers Automotive, to develop an automobile service use. An automobile service use is only permissible through the issuance of a Conditional Use Grant (Section 40.250(10)). This request is located immediately west of Menards and north of Jilly's Car Wash / PWV 0901984006. The proposed development would be part of this 38.72-acre, B-1 Community Business District with a Planned Unit Development Overlay and C-2 Conservancy District split zoned. The property is owned by Meadow Creek Limited Partnership and Applicant is William Bostic d/b/a Christian Brothers Automotive.
 - b. Conditional Use Grant request by the Village of Pewaukee, to establish an expanded lift station within railroad right-of-way located north of 512 Kopmeier Drive. Public and/or Private utility use is only permissible through the issuance of a Conditional Use Grant (Section 40.204(2)). Railroad right-of-way is operated by CPKC and is zoned R-5 Residential Detached District.
 - c. Conditional Use Grant request of applicant James Grabowski, to construct a 6' tall fence. The structure is proposed at 0 feet from the rear lot line. A reduction from the required 5' offset for fencing over 4.5' tall is permissible only through the issuance of a Conditional Use Grant on a legal non-conforming lot (Section 40.210(4)a). This 0.21-acre parcel, located at 128 Park / PWV 0896017, is zoned R-5 Residential Detached District. Property Owner/Applicant is James Grabowski.
 - d. Conditional Use Grant request of applicant Ken Ward, to construct a 8' tall fence. The structure is proposed at 0 feet from the rear lot line. A reduction from the required 5' offset for fencing over 4.5' tall is permissible only through the issuance of a Conditional Use Grant on a legal non-conforming lot (Section 40.210(4)a). This 0.1-acre parcel, located at 124 Park / PWV 0896018, is zoned R-5 Residential Detached District. Property Owner/Applicant is Ken Ward.
 - e. Conditional Use Grant and Plan of Operation request of Lake Country Barge, to locate a boat lift and pier sales, service, repair and boat storage use. An boat related use is only permissible through the issuance of a Conditional Use Grant (Section 40.316(9)). This

request is located at 400 Sussex Street, PWV 0897993. The proposed development on a 4.32-acre, B-5 Light Industrial District zoned property. The property is owned by Capitol Acquisition LLC and Applicant is Lake Country Barge.

Citizen Comments: *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

3. Approval of the Minutes:

- a. Plan Commission Meeting – July 9, 2026

4. Old Business.

- a. None

5. New Business.

- a. Review, discussion, and possible action on Conditional Use Grant request of applicant Christian Brothers Automotive, to develop an automobile service use. An automobile service use is only permissible through the issuance of a Conditional Use Grant (Section 40.250(10)). This request is located immediately west of Menards and north of Jilly's Car Wash / PWV 0901984006. The proposed development would be part of this 38.72-acre, B-1 Community Business District with a Planned Unit Development Overlay and C-2 Conservancy District split zoned. The property is owned by Meadow Creek Limited Partnership and Applicant is William Bostic d/b/a Christian Brothers Automotive.

- b. Review, discussion, and possible action on Conditional Use Grant request by the Village of Pewaukee, to establish an expanded lift station within railroad right-of-way located north of 512 Kopmeier Drive. Public and/or Private utility use is only permissible through the issuance of a Conditional Use Grant (Section 40.204(2)). Railroad right-of-way is operated by CPKC and is zoned R-5 Residential Detached District.

- c. Review, discussion, and possible action on Conditional Use Grant request of applicant James Grabowski, to construct a 6' tall fence. The structure is proposed at 0 feet from the rear lot line. A reduction from the required 5' offset for fencing over 4.5' tall is permissible only through the issuance of a Conditional Use Grant on a legal non-conforming lot (Section 40.210(4)a). This 0.21-acre parcel, located at 128 Park / PWV 0896017, is zoned R-5 Residential Detached District. Property Owner/Applicant is James Grabowski.

- d. Review, discussion, and possible action on Conditional Use Grant request of applicant Ken Ward, to construct a 8' tall fence. The structure is proposed at 0 feet from the rear lot line. A reduction from the required 5' offset for fencing over 4.5' tall is permissible only through the issuance of a Conditional Use Grant on a legal non-conforming lot (Section 40.210(4)a). This 0.1-acre parcel, located at 124 Park / PWV 0896018, is zoned R-5 Residential Detached District. Property Owner/Applicant is Ken Ward.

- e. Review, discussion, and possible action on Conditional Use Grant and Plan of Operation request of Lake Country Barge, to locate a boat lift and pier sales, service, repair and boat storage use. An boat related use is only permissible through the issuance of a Conditional Use Grant (Section 40.316(9)). This request is located at 400 Sussex Street, PWV 0897993. The proposed development on a 4.32-acre, B-5 Light Industrial District zoned property. The property is owned by Capitol Acquisition LLC and Applicant is Lake Country Barge.

f. Review, discussion and possible action on a certified survey map proposed to consolidate and reconfigure the existing 2 contiguous lots 851 E. Wisconsin Avenue into 1 lot. These 0.33 acres parcels are PWV 0900061 & PWC 0900064 and are currently zoned R-5 Residential Detached District and FW Floodway District. The applicants/property owners are Dale & Mary Stauber.

6. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

7. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: July 17, 2026

PLAN COMMISSION AGENDA
Thursday, July 9, 2026 – 6:00 pm
Village Hall
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: <https://www.youtube.com/watch?v=OgAQKauI-O4>

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.

President Knutson called the meeting to order at approximately 6:01 p.m.

Plan Commission members present: Comm. Brian Belt; Comm. Theresa Hoff; Comm. Sam Liebert; Trustee Bob Rohde; and President Jeff Knutson.

Excused: Comm. Mark Grabowski and Comm. Katie Jelacic

Also present: Village Attorney, Matt Gralinski; Village Planner, Mark Lyons; Village Administrator, Matt Heiser; Village Clerk, Mackenzie Quigley; and Deputy Clerk, Jessica Sweet.

2. Public Hearing –

- a. **Conditional Use Grant request by Franks Catering, LLC for temporary food/concession sales. This request is located at 733 W. Wisconsin Avenue. PWV 0894997. This 2.629- acre property is zoned B-1 Community Business District. Property owner is Scott Schaefer and Applicant is Franks Catering LLC – Scott Klopp.**

No Comment

3. Citizen Comments –

No comment.

4. Approval of the Minutes -

- a. **Plan Commission Meeting – May 14, 2026**

Commissioner Belt motioned, seconded by Commissioner Liebert moved to approve May 14, 2026, Plan Commission Meeting Minutes as presented.

Motion carried 5-0.

- b. **Plan Commission Meeting – June 11, 2026**

Trustee Rhode motioned, seconded by Commissioner Hoff moved to approve June 11, 2026, Plan Commission Meeting Minutes as presented.

Motion carried 5-0.

5. Old Business -

- a. **None**

6. New Business –

- a. **Review, discussion, and possible action on Conditional Use Grant request by Franks Catering LLC for temporary food/concession sales. This request is located at 733 W. Wisconsin Avenue. PWV 0894997. This 2.629-acre property is zoned B-1 Community Business District. Property owner is Scott Schaefer and Applicant is Franks Catering LLC – Scott Klopp.**

Trustee Rohde questioned the need for Plan Commission approval, noting that the request is for a 10' x 10' tent and not a permanent structure. Rohde acknowledged that the current ordinance requires this review but suggested that the ordinance could be reviewed and potentially amended to address similar situations in the future.

Trustee Rohde motioned, seconded by Trustee Hoff to approve the Conditional Use Grant request submitted by Frank's Catering, LLC.

Motion carried: 5-0.

- b. **Review, discussion, and possible action on Sign Plan request by Fore Seasons WI LLC for a golf simulator business. This request is located at 1405 Capitol Drive. PWV 0901984002 is zoned B-1 Community Business District with a Planned Development Overlay. Property owner is Chestnut Limited Partnership and Applicant is Fore Seasons, LLC.**

Lyons explained that the Planned Unit Development (PUD) requires this item to be reviewed and approved by the Plan Commission, noting that this process is not typical for most sign permit requests.

Commissioner Liebert motioned, seconded by Commissioner Hoff, moved to approve the sign plan request for Four Seasons WI, LLC, located at 1405 Capitol Drive, Units B–E, subject to the staff-recommended conditions.

Motion carried: 5-0.

- c. **Review, discussion and possible recommendation to the Village Board on an ordinance amending section 40.108(b) of the Municipal Code of the Village of Pewaukee, adding a definition for Building Width.**

Commissioner Belt motioned, seconded by Commissioner Liebert, moved to recommend approval of the ordinance amending Section 40.108(b) of the Municipal Code, adding a definition for Building Width, to the Village Board.

Motion carried: 5-0.

- d. **Review, discussion and possible recommendation to the Village Board on an ordinance amending section 40.435(a) of the Municipal Code of the Village of Pewaukee adding standard specification for access drives.**

Trustee Rhode motioned, seconded by Commissioner Liebert moved to recommend approval of the ordinance amending Section 40.358 regarding streets and access drives to the Village Board.

Motion carried 5-0.

e. Review and discussion regarding Wisconsin Act 68 & 173.

Planner Lyons presented an overview of 2025 Wisconsin Acts 68 and 173 and their impacts on subdivision review, comprehensive planning, and future land use decisions.

Staff explained that Act 68, effective July 1, 2026, updates subdivision review procedures under Chapter 236 of the Wisconsin Statutes by standardizing review processes statewide. Key changes include pre-application meetings, limits on preliminary plat requirements and approval conditions, separation of developer agreements from plat approvals, issuance of building permits upon substantial completion of improvements, sale of lots before completion of improvements, and statutory timelines for final plat action. Staff noted the Village's existing subdivision ordinance is already largely consistent with the new law, and no ordinance amendments are anticipated.

Commission members discussed developer responsibilities for infrastructure and stormwater management if lots are sold before improvements are complete. Staff explained these responsibilities remain governed by developer agreements, Village ordinances, and state regulations.

Staff also reviewed Act 173, effective January 1, 2028, which increases the importance of municipal comprehensive plans in future zoning decisions. Staff explained municipalities may have limited discretion to deny residential rezoning requests that are consistent with their adopted comprehensive plans. The discussion included updating population and housing projections, refining future land use maps, defining residential densities, improving consistency between maps and plan text, and incorporating development standards into the Comprehensive Plan.

Commission members discussed the legislation's potential impacts on future residential development, zoning flexibility, density, decision timelines, and circumstances under which development proposals may still be denied.

Staff clarified the Act does not require additional growth but requires municipalities to follow their adopted comprehensive plans. Staff recommended updating portions of the Comprehensive Plan before the Act's effective date to strengthen the Village's ability to guide future development.

Village Attorney advised that qualifying rezoning requests under Act 173 may significantly limit municipal discretion and encouraged the Commission to consider the legislation during future land use discussions. Staff agreed to provide the presentation materials with the Commission.

No action was taken.

f. Review, discussion, and possible direction to staff regarding Section 40.108(b) – Structure.

Planner Lyons led a discussion on the Village's zoning definition of "Structure" after recent enforcement questions highlighted that the current definition could be interpreted to include minor improvements such as bird feeders, flagpoles, and clotheslines.

Staff explained that while the existing definition provides broad regulatory authority, it may unintentionally require permits for items not intended to be regulated. Rather than revising the definition, staff suggested retaining the current language and considering narrowly tailored exemptions for specific minor improvements, noting that changes to the definition could have unintended impacts throughout the zoning ordinance.

Commission members discussed enforcement consistency, potential loopholes, safety considerations, and the widespread use of the term "Structure" in the code. Staff also referenced a recent enforcement case and explained that the Village follows a complaint-based enforcement process.

The Commission agreed the issue requires additional research and directed staff to continue evaluating potential options, including possible exemptions or a simplified permit process for minor improvements, before returning with a future ordinance discussion.

7. Citizen Comments. – None

8. Adjournment

Trustee Rohde moved, seconded by Commissioner Belt, to adjourn the July 9, 2026, Regular Plan Commission meeting at 7:08 p.m.

Respectfully submitted,

Jessica Sweet
Deputy Clerk

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Mackenize Quigley - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: August 6, 2026
MTG DATE: August 13, 2026
RE: 5a - Christian Brothers Automotive CUG – Conditional Use Grant and Business Site Plan / Plan of Operation for an Automotive Service Use.

BACKGROUND:

1. Petitioner: William Bostic, Christian Brothers Automotive
2. Property Owner: Meadow Creek Limited Partnership
3. Location/Address: Located immediately west of Menards and north of Jilly's Car Wash
4. Tax Key Number: PWV 0901984006
5. Area: Part of the existing 38.72 acres
6. Existing Zoning: B-1 Community Business District with a Planned Unit Development Overlay and C-2 Conservancy District
7. Proposed Zoning: N/A
8. Future Land Use: Community Commercial

OVERVIEW:

The Village originally approved the request Conditional Use Grant on October 9, 2025. Section 40.154 (e) of the Villages zoning code states that a conditional use shall become null and void within 12 months if the use has not commenced or construction is underway. The applicant, property owner and Village have been diligently working with Menards to update the storm water pond to accommodate the Christian Brothers project. Unfortunately, that process took a significant amount of time but has now been completed. The prior Conditional Use is set to expire in two months, and the applicant is seeking approval of a new Conditional Use to restart the time frame and allow for ample time to complete permit issuance and begin construction without the potential of the Conditional Use Grant expiring in October before the work begins. The applicant is again, requesting approval of a Conditional Use Grant to allow an automotive service use at the subject site. This request was accompanied by a Business Site Plan and Plan of Operations which does not expire. The Business Site Plan and Plan of Operation included an approximately 6,300 sq. ft. automotive service business to be developed on approximately 1.50-acres of the existing parcel. The applicant also previously received approval by the Village Board approval for the proposed use as the existing Planned Unit Development stipulated automotive service store shall not be permitted without Village Board approval. The following report is substantially similar to that which was issued as part of October 2025 request.

Many of the comments and conditions have since been addressed by the applicant, however I have chosen to include the original comments and conditions as part of this request for clarification. Final review of all applicable conditions will be completed as part of the permit review process.

SUBMITTAL:

The enclosed submittal includes the Applications, Site Plan, Building Elevation and Narrative.

PLANNER COMMENTS:

Conditional Use Grant. The Village Code permits automotive service uses by the issuance of a Conditional Use Grant in the B-1 Community Business District. In order for the project to proceed the Village must grant a CUG for the proposed use.

Planned Unit Development Overlay. The subject site is part of a Planned Unit Development Overlay approved in 2004. The PUD approval was granted subject to a number of conditions, including condition #19 – Gas Stations shall be prohibited and automotive service store shall not be permitted without Village Board approval. As a result, the applicant will need Village Board approval for the proposed use in addition to Plan Commission's decision on the Conditional Use. The Village Board has approved the specific use.

Site Plan, Traffic & Access. The site plan indicates a 6,300 sq. ft. single-story building along the east side of the development area, with the associated parking lots occupying the majority of the remainder of the development area. The applicant indicates they intend to operate Monday - Friday from 7:00 am - 6:00 pm with an estimated 10 employees. The proposed site plan includes two 24' access points from the private road. Included in the Plan Commission packet is an email the Village received raising concerns with traffic, safety and the current condition of the private road. The site plan includes two parking areas which total 31 parking stalls. Based on the zoning code, 40 parking stalls would be required. As part of the Conditional Use Grant the applicant is asking Plan Commission to approve a reduction in parking from the required 40 to the 31 spaces provided. The applicant has provided a narrative outlining the reasons they feel 31 spaces are sufficient to accommodate the proposed development. Finally, the plan includes a dumpster enclosure at the north end of the parking area. The Plan Commission previously approved the reduce parking request.

Landscaping: Section 40.445 requires Street trees as part of the redevelopment when deemed appropriate by Plan Commission. Such trees shall be provided at a rate of not less than one tree every 40 feet of new roadway frontage and located within the road right-of-way at a point ten feet from the right-of-way line unless otherwise required by the plan commission. The species of trees shall be subject to plan commission approval. The applicants plans include 9 trees along the private road, which meets the minimum ordinance requirements. The applicant proposes additional landscaping along the parking areas and dumpster enclosure which meet the ordinances landscaping requirements.

Site Lighting: The applicant has provided a fully code compliant photometric plan with their submittal.

Signage: The applicant has not provided any sign plans as part of their submittal. Code compliant signage plans will need to be submitted and reviewed separately before any sign permits can be issued.

Building Facades: The plans provided include proposed building elevations. The building is predominately a masonry exterior, with elements consisting of multiple different brick and stone features. The elevations meet the requirements of section 40.447. - Architectural requirements and standards.

Land Division: Thea applicant has completed the necessary CSM to create the proposed lot.

Village Engineer Review:

The applicant and Village Engineer have continued to work on finalizing the necessary plans and a final review will take place during the permit process.

Considerations:

In evaluating the applicant's request, the Plan Commission may want to consider weighing a number of considerations:

- 1) Compatibility and surrounding land uses – Is the proposed development and conditional use compatible with the surrounding area?
- 2) Parking - Has the applicant demonstrated that the proposed 31 parking spaces are adequate for the development's needs?
- 3) Traffic – Has the applicant sufficiently addressed traffic and access concerns from the private road?

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

CONDITIONAL USE REQUEST FOR AN AUTOMOTIVE SERVICE USE

The Village of Pewaukee Plan Commission **Approves** the Conditional Use Request for an automotive service use for the property located at PWV 0901984006, subject to the following conditions:

SITE PLAN AND PLAN OF OPERATIONS

The Village of Pewaukee Plan Commission **Approves** the Business Site Plan / Plan of Operations for an automotive service use, subject to the following conditions:

Conditional Use Conditions:

1. Approval of Automotive Service Use only. Any other use requires separate approval.
2. As part of the Conditional Use Grant the site shall be permitted to reduce the required number of parking spaces from 40 to 31 spaces.

Planning Conditions:

3. That all conditions made by the Plan Commission at their meeting of October 2025 pertaining to development are met.
4. Full execution and recording of the Conditional Use Grant prior to beginning construction.

5. The signage plans be presented to the Village Zoning Administrator and approval by Staff prior to building occupancy.
6. Prior to final approval and issuance of any permits the applicant shall submit a Certified Survey Map for review and approval by Plan Commission.
7. This Site Plan/Plan of Operation approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission. The existing site plan/plan of operation shall remain in effect, except as further restricted or modified herein.
8. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
9. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
10. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses. Fire department approval following review to ensure any additional fire access requirements for the parking lot as proposed is required prior to building occupancy.
11. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
12. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
13. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
14. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
15. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the

review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

Engineering Conditions: As originally outlined in the October 2025 review.

16. With the site proposal intending to utilize the existing regional stormwater pond for stormwater management, it shall be noted that due to the current condition of the regional stormwater pond as of September 25, 2025; building permits will not be issued for this site by the Village of Pewaukee until the pond is reconstructed and surveyed verifying the pond is corrected to its original design.
17. If a Wisconsin Department of Natural Resources (WDNR) Construction Site Stormwater Permit (NOI) is required it shall be provided when it is available. Provide confirmation from the WDNR if an NOI permit is not required.
18. As noted on the Site Grading Plan, Earthwork and Grading Note #12 reverse slope (high side) curb shall be installed on the downhill side of parking lot islands to ensure positive drainage to catch basins. Consider callouts and/or showing locations of reverse slope curb segments on the plans to further clarify these locations.
19. Add notes as appropriate or show inlet protection to be provided on all proposed catch basins after installation on the plans.

20. The proposed lot is 1.5 acres of a 43-acre existing lot. Will the remnant acreage be included in the proposed CSM?
21. It is presumed the wetland line is shown based on CSM 11391. The wetland note per this CSM states the wetland was delineated in November 2008. This is substantially outside the standard WDNR 5-year window. A new wetland delineation should be completed, and the wetland dimensioned.
22. The ALTA/NSPS Land Title Survey depicts a storm sewer running through the property, without the benefit of an easement. An easement should be created and maintenance rights determined.
23. There is a 5" change in bearings from CSM 11391, recorded as bearings should be added.
24. Stone tracking pads shall be added at both access points per WDNR construction site erosion and sediment control technical standard 1057. Or provide a stone tracking pad at one site access point, showing the other access point being closed off during construction.
25. Provide silt fence along the east perimeter of the site to prevent erosion onto the adjacent property.
26. Clarify or provide a detail for "DUB DOWN CURB".
27. The drive aisle width in the west parking lot does not meet the minimum width per the Village Code. Revise the westerly parking lot to include a minimum drive aisle width of 25 feet.
28. The northwest corner of the proposed access aisle for the accessible parking stalls is a lower elevation than all surrounding grades promoting a trapped water condition. Revise the grades in this area accordingly to perpetuate drainage to the proposed catch basin to the north.
29. Verify the top of pavement and top of curb grades along the west side of the westerly entrance to the site. The site grading plan shows the top of pavement at a higher elevation than the top of curb in this area.
30. Add additional spot elevations around the proposed dumpster enclosure to further detail the grades in this area. Include spot elevations in this area at the corners/boundaries between bituminous, heavy-duty concrete, and concrete sidewalk surfaces.
31. Label the diameter of the proposed downspouts.
32. Detail the length and slope of all proposed storm and sanitary sewer/laterals.
33. Detail the elevation and slope of the proposed underdrain along the south side of the proposed building.
34. Detail the size and invert elevations of the proposed water service.
35. Label the proposed invert elevation(s) of the sanitary lateral connection to the existing sanitary sewer east of the building. This connection should be completed as a wye connection.
36. Label the invert elevations and slopes of the proposed sanitary lateral at the sand/oil interceptor, bends, and, cleanouts.
37. Label the invert elevations of all proposed storm sewer at bends, cleanouts, catch basins, and connections with the existing storm sewer.

38. Verify the absence of a conflict and appropriate vertical separation between all proposed crossings of the proposed sanitary lateral and building downspout laterals. Label the invert elevations of sanitary lateral and downspout laterals at each proposed crossing.
39. Add a stone tracking pad detail that conforms to WDNR stormwater construction technical standard 1057.
40. Provide an underdrain trench detail.
41. Provide a detail for the proposed sand/oil interceptor and its proposed sanitary sewer connections.
42. Provide a detail for the required sanitary lateral wye connection with the existing sanitary sewer.
43. Provide a detail displaying the proposed connection with the existing storm sewer.
44. Provide a typical section, elevation, and details of any design elements for the proposed retaining wall.
45. Plans shall be signed and sealed by professional engineer licensed in the state of Wisconsin.
46. A response memorandum addressing each of the above comments listed must be included in the next submittal. Note, that these comments are not all encompassing and that further comments may arise during future submittals.

Public Works Conditions: As originally outlined in the October 2025 review.

47. An existing storm sewer pipe crosses this parcel. A new storm sewer easement is needed to be submitted, reviewed, approved, and recorded prior to issuance of building permit.
48. The storm water drainage for this site is to be tributary to the regional pond. Work is occurring at pond. The work needs to be completed, reviewed, and approved prior to approval of this project.
49. Provide televising video showing Sanitary sewer lateral from building to the main. The lateral needs to be reviewed for structural integrity and potential infiltration. The Village staff or designated representative will review the sewer lateral video and check if the lateral condition is adequate or needs rehabilitation. If the work cannot be completed prior to issuance of permit or occupancy, then posting a \$5,000 financial

guarantee is acceptable to allow applicant to proceed. This includes costs for televising and potential work on sewer lateral.

50. Submit specifications for sand/oil interceptor. Prepare maintenance agreement for sand/oil interceptor to be submitted, reviewed, approved, and recorded prior to issuance of building permit.
51. Confirm number of parking spaces needed and provided.
52. What size water service is proposed?
53. The sanitary sewer lateral should not be run into the manhole.
54. The sanitary sewer lines should be connected so utilize one connection to the public main.
55. Add sample tap to use for water sampling in utility room.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application, plan set, narrative



Zoning Map



0 0.01 0.02 0.03 0.04
mi



1" = 212'
1:2,543

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes

None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



CONDITIONAL USE GRANT APPLICATION FORM

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov— 262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

☐

Property Address: Capitol Drive, Pewaukee, WI 53072 Tax Key: PWV 0901984006

Property Owner Name: Meadow Creek Limited Partnership Zoning of Property: B1 Community Business & General Conservancy Zoning

APPLICANT INFORMATION

☐

Applicant Name: Christian Brothers Automotive, Attn: William Bostic Applicant Phone #: (346) 852-1669

Applicant Address: 17725 Katy Freeway, Suite 200, Houston, TX 77094 Applicant Email: william.bostic@cbac.com

Applicant Email: _____

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

☐

Business Name, If applicable: Christian Brothers Automotive

FEIN, if applicable: _____

Description of Proposed Use (Restaurant/Retail/Office) Automotive Service, Maintenance, and Repair Facility

DIRECTIONS / NOTES—See page 4 for specific items required

☐

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☐ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☐ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☐ 3. Completed Professional Services Reimbursement Form
- ☐ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: _____

Date/Time Received: _____

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.
3. Signage shall be determined through a sign permit process and/or a sign plan approved by the Plan Commission. Permits for individual signs may be applied for with the Village's Code Compliance Officer.

MEADOW CREEK LIMITED Partnership

Property Owner Printed Name

John J. Bostic
Signature of Property Owner on behalf of
General Partner, Cichaus Inc.

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

**William Bostic - Christian Brothers
Automotive Corporation**

Applicant's Printed Name

William Bostic

Signature of Applicant

If you have any questions, please call Village Hall at (262) 691-5660.



235 Hickory St, Pewaukee WI 53072— villagehall@villageofpewaukee.gov—262-691-5660

Business Plan of Operation Application

Office use only:

Zoning Admin Approval: _____ Date _____

Planner Approval: _____ Date _____

BUSINESS & PROPERTY

Tax Key No. PWV 0901984006

FEIN#: _____

Business Name: Christian Brothers AutomotiveCurrent Zoning: B1Business Address: Capitol Drive, Pewaukee, WI 53072Mailing Address: 17725 Katy Freeway, Suite 200, Houston, TX 77094Email: William.Bostic@cbac.comPhone: (346) 852-1669

TENANT INFORMATION

Tenant Name: N/A FEIN#: _____

Mailing Address: _____ Email: _____

List any Special Equipment/Facilities/Requirements we need to know about:

Christian Brothers intends to purchase this property and use it for their business operations.

BUSINESS INFORMATION

Description of Business: Automotive Service CenterType of business: ☐ Retail ☐ Office ☐ Warehouse/Storage ☐ Industrial ☐ Institutional ☐ Wholesale ☒ Other AutomotiveNew Use? ☒ YES ☐ NO or Expanded Use? ☐ YES ☒ NO Operation Days and Hours: Monday-Friday, 7am-6pmMaximum Number of Employees: Full-time 10 Part-time 0

Expected Customers per Day: _____ Delivery Trucks per day: _____ Vehicles per day: _____

Available Parking Spaces: 31 Loading Spaces: 1 Overnight Parking: ☒ YES ☐ NOOutdoor Storage: ☐ YES ☒ NO - If yes, list type: _____Sewage Disposal: ☐ Public Sewer ☐ Septic Tank / Storm Water Retention/Detention? ☐ YES ☒ NOWater Supply by: ☒ Public Water ☐ Main ☐ Private Well ☐ OtherSolid Waste ☒ (garbage) Disposal by: Waste Management

List Where any Flammable Substances are stored: _____

Applicant and Property Owner Signature

William Bostic
 William Bostic - Christian Brothers Automotive
 Applicant Signature & Print Name

MEADOW CREEK LIMITED PARTNERSHIP
[Signature]
 Owner Signature & Print Name

7-15-26
 Date

Send to Building Services _____ Send to Clerk _____ Save to Property File _____

Commercial & Industrial businesses are required to fill out the below form. The discharge produced must comply with all conditions of the [City of Brookfield Municipal Code Chapter 13.20](#) at www.cityofbrookfield.com

Notice of Intent to Discharge Wastewater

Business Name: Christian Brothers Automotive
Business Address: Capitol Drive, Pewaukee, WI 53072
Mailing Address: 17725 Katy Freeway, Suite 200, Houston, TX 77094
Company Representative: William Bostic Title: Project Manager
Phone: (346) 852-1669 Email: William.Bostic@cbac.com

Description of business:

Automotive Service Center

Number of Employees: Full-time _____ Part-time _____
Operation Days and Hours: _____ # of Shifts: _____
SIC OR NAICS CODE: _____

Reason for filing survey:

- ☐ Change of occupancy
- ☒ Construction of a new facility
- ☐ Proposing to discharge from a facility where there is currently no discharge or adding a new sewer connection
- ☐ Significantly Altering the volume or characteristics of an existing discharge
- ☐ Applying for reissuance of an existing discharge permit
- ☐ Per request by municipality—discharge ongoing with no expected changes
- ☐ Update previous information

Date when new or altered discharge is expected to begin _____

Estimated sanitary sewer discharge (report gallons/day):

	Current:	Proposed:
Process wastewater	<u>N/A</u>	<u>N/A</u>
Sanitary wastewater	<u>N/A</u>	<u>24 gallons/day</u>
Cooling water	<u>N/A</u>	<u>N/A</u>

- Note: A review of quarterly water usage bills may be helpful in assigning flow values. Total gal/day (for all uses) = qtr usage (in 1000 gallons) x 1000/# operating days in qtr. This daily total is then distributed into estimated gal/day of process, sanitary, and/or cooling. Process wastewater is any discharge other than sanitary, non-contact cooling or boiler blowdown water. Sanitary flow may be estimated as 20 gal/day/employee.

Use this space to describe the process that will result in the discharge of commercial/industrial process wastewater:

The proposed development will have two sanitary connections tying into the existing sanitary lateral running along the east side of the site. The first connection is a standard bathroom connection. The second connection captures runoff in the garage and routes through a sand/oil interceptor before discharging into the existing lateral.

List chemicals/pollutants expected to be present in your discharge:

No chemicals or pollutants expected to be present in discharge.

Describe any wastewater pretreatment and/or facilities to be used:

There will be a sand/oil interceptor that will remove any contaminants such as sand, oil, grit, etc. from the garage area before the wastewater enters the existing sanitary lateral.

List toxic organic compounds (solvents, flammable compounds etc:

N/A

How are these toxic organic compounds disposed of:

N/A

Agreement to Abide

I Certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

William Bostic

7/16/2026

William Bostic - Christian Brothers Automotive

Authorized Representative Signature

Date

Printed Name

Comments:

Staff comments:



PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.wi.gov—262-691-5660

PROPERTY INFORMATION ☐

Property Address: Capitol Drive, Pewaukee, WI 53072 Tax Key: PWV 0901984006

Property Owner's Name: Meadow Creek Limited Partnership Phone Number: (262) 790-8888

RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address. ☐

Business Name: Christian Brothers Automotive FEIN: _____

Person Responsible for Payment / Business Contact Name: Christian Brothers Automotive, Attn: William Bostic

Mailing Address: 17725 Katy Freeway, Suite 200, Houston, TX 77094

Responsible Party / Contact Phone Number: (346) 852-1669

Responsible Party / Contact Email Address: william.bostic@cbac.com

AGREEMENT / SIGNATURES - Property Owner signature is required. ☐

Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

Property Owner Signature: [Signature] Printed Name: MEADOW CREEK LIMITED Partnership Date: 7-15-26

Applicant Signature: William Bostic Printed Name: William Bostic Date: 7/16/2026

For Office Use Only

Staff Initials: _____

Date Received: _____

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

MEADOW CREEK LIMITED Partnership

Property Owner Printed Name

[Handwritten Signature]
Signature of Property Owner on behalf
 of CIRRUS, Inc. Gen'l. Partner

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

William Bostic - Christian Brothers Automotive

Applicant's Printed Name

William Bostic

Signature of Applicant

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

CHRISTIAN BROTHERS AUTOMOTIVE
AUTOMOTIVE SERVICE CENTER
CAPITOL DRIVE, PEWAUKEE, WI 53072

ISSUED FOR: SITE PLAN REVIEW
DATE: 07/10/2026

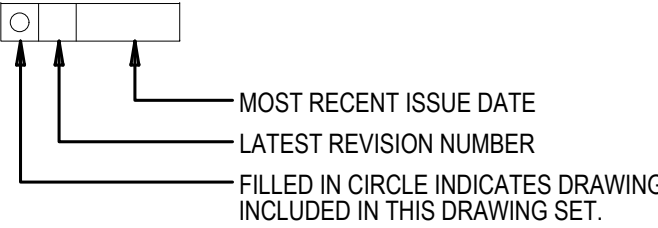


LOCATION MAP
1" = 200'
NORTH

DRAWING INDEX

07/10/26	G001	COVER SHEET
01/26/26	ALTA	ALTA / NSPS LAND TITLE SURVEY
07/10/26	C102	DEMO & SESC PLAN
07/10/26	C201	SITE LAYOUT PLAN
07/10/26	C202	RETAINING WALL PLAN
07/10/26	C301	SITE GRADING PLAN
07/10/26	C401	SITE UTILITY PLAN
07/10/26	C501	SITE DETAILS
11/20/25	LI-1	IRRIGATION PLAN
11/20/25	LI-2	IRRIGATION DETAILS
11/20/25	LI-3	IRRIGATION SPECIFICATIONS
11/20/25	LP-1	LANDSCAPE PLANTING
11/20/25	LP-2	LANDSCAPE SPECIFICATIONS
11/20/25	LP-3	LANDSCAPE DETAILS
08/12/25	A-1	SITE DETAILS
08/12/25	A-2	FLOOR PLAN AND SCHEDULES
08/12/25	A-4	EXTERIOR ELEVATIONS
08/12/25		COLOR ELEVATIONS
08/12/25		RENDERINGS
08/12/25		RENDERINGS
07/31/25		SITE PHOTOMETRIC PLAN

DRAWING LIST LEGEND

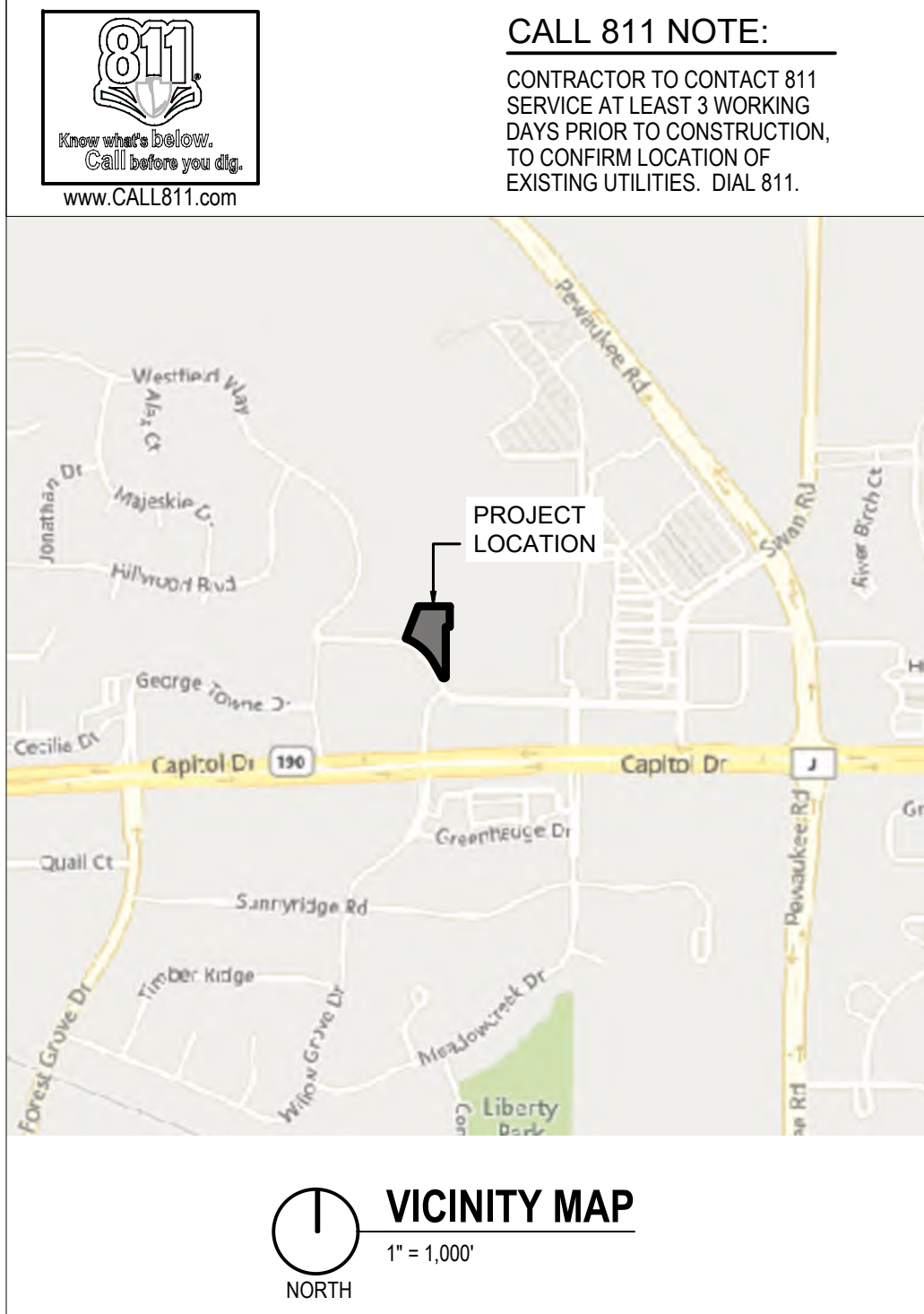


PROJECT DIRECTORY

DEVELOPER / APPLICANT CHRISTIAN BROTHERS AUTOMOTIVE ATTN: BILLY GREEN JR. 17725 KATY FREEWAY, SUITE 200 HOUSTON, TX 77094 PHONE: (281) 675-6192 EMAIL: BILLY.GREEN@CBAC.COM	CIVIL ENGINEER PROGRESSIVE COMPANIES ATTN: JOSH MANION 1811 4 MILE ROAD NE GRAND RAPIDS, MI 49526 PHONE: (616) 447-3455 EMAIL: JMANION@WEAREPROGRESSIVE.COM
OWNER MEADOW CREEK LIMITED PARTNERSHIP ATTN: JIM FORESTER EMAIL: JIM@FORESTER.COM	ARCHITECT ALC ARCHITECTURE ATTN: JARIN MCKAGUE PHONE: EMAIL: JARINM@ALCARCHITECTURE.COM
SURVEYOR CHAPUT LAND SURVEYS ATTN: JIM MORROW 710 N. PLANKINTON AVE MILWAUKEE, WI 53204 PHONE: (414) 224-8068 EMAIL: JMORROW@PINNACLE-ENGR.COM	LANDSCAPE ARCHITECT EVERGREEN DESIGN GROUP ATTN: ERIC SHEPLEY PHONE: (800) 680-6630 EMAIL: ERIC@EVERGREENDSIGNGROUP.COM

PROJECT CONTACTS

WATER SERVICE PROVIDER: VILLAGE OF PEWAUKEE, VILLAGE UTILITIES 235 HICKORY ST, PEWAUKEE, WI 53072 ATTN: DAVID BUECHL PHONE: (262) 691-5660 EMAIL: DBUECHL@VILLAGEOFPEWAUKEE.WI.GOV	GAS & ELECTRIC SERVICE PROVIDER: WE ENERGIES PO BOX 2046, MILWAUKEE, WI 53201-2046 ATTN: JESSICA WOZNIAK PHONE: (262) 574-3049 EMAIL: JESSICA.WOZNIAK@WE-ENERGIES.COM
SANITARY SEWER SERVICE PROVIDER: VILLAGE OF PEWAUKEE, VILLAGE UTILITIES 235 HICKORY ST, PEWAUKEE, WI 53072 ATTN: DAVID BUECHL PHONE: (262) 691-5660 EMAIL: DBUECHL@VILLAGEOFPEWAUKEE.WI.GOV	BUILDING DEPARTMENT CITY OF PEWAUKEE CONTACT: NICK FUCHS W240 N3065 PEWAUKEE ROAD, PEWAUKEE WI, 53072 PHONE: (262) 691-91-7 EMAIL: FUCHS@PEWAUKEE.WI.US
STORMWATER SERVICE PROVIDER: VILLAGE OF PEWAUKEE, VILLAGE UTILITIES 235 HICKORY ST, PEWAUKEE, WI 53072 ATTN: JAKE SCHOLBE PHONE: (262) 317-3360 EMAIL: JAKE@SCHOLBE@RASMITH.COM	



ZONING NOTES

PARCEL NUMBER:	0901984006
LOT SIZE:	± 1.5 ACRES
ZONING DISTRICT:	B1 - COMMUNITY BUSINESS AND GENERAL CONSERVANCY ZONING
EXISTING USE:	VACANT LAND
PROPOSED USE:	AUTOMOTIVE SERVICE CENTER / VEHICLE REPAIR
BUILDING SETBACKS:	
FRONT:	50 FT
SIDE:	20 FT
REAR:	20 FT
PARKING SETBACKS:	
FRONT:	20 FT
SIDE:	20 FT
REAR:	20 FT
PROPOSED BUILDING:	
HEIGHT:	1 STORY, 24 FT
FLOOR AREA:	± 6,271 SFT
BLDG. LOT COVERAGE:	10%
IMPERVIOUS AREA:	± 22,451 SFT
	34%
OPEN SPACE:	± 42,889 SFT
	66%
PARKING REQUIRED:	
FOR AUTO REPAIR ESTABLISHMENTS:	
MINIMUM:	THREE SPACES PER INDOOR SERVICE BAY PLUS ONE SPACE PER EMPLOYEE FOR THE WORK SHIFT WITH THE LARGEST NUMBER OF EMPLOYEES = 3 X 10 SERVICE BAYS + 1 X 10 EMPLOYEES = 40 SPACES
PARKING PROVIDED:	
STANDARD (8'X18'):	29
BARRIER FREE:	2
TOTAL SPACES:	31
SEE PARKING NARRATIVE	
HOURS OF OPERATION:	
MONDAY-FRIDAY, 7AM-6PM	
ANTICIPATED START DATE:	
MARCH 2026	
NOTE:	
IF THE GC HAS ANY CONFLICT WITH THE PLANS AND/OR DESIGN DURING BIDDING AND/OR IN THE FIELD DURING CONSTRUCTION, THE GC MUST SUBMIT A FORMAL RFI IN AUTODESK VIA THE SUBMITTALS SECTION. GC SHOULD NOT CONTACT THE ARCHITECT OR ENGINEERS DIRECTLY WITHOUT EXPRESS DIRECTION OF THE CBA PROJECT MANAGER.	

CHRISTIAN BROTHERS AUTOMOTIVE
AUTOMOTIVE SERVICE CENTER

COA ARCHITECT COA ENGINEER

PROGRESSIVE
COMPANIES

PROGRESSIVE ARCHITECTURE ENGINEERING & PLANNING, LLC

Charlotte, NC | Detroit, MI | Grand Rapids, MI
wearprogressive.com

07/10/2026 SITE PLAN REVIEW

PROJECT NUMBER
70050026
PROJECT MANAGER
A. Zebell
PROFESSIONAL
DRAWN BY
K. Holleman
CHECKED BY
B. Simon

COVER SHEET
G001

PARKING PROVIDED:	
STANDARD (9'X18'):	29
BARRIER FREE:	2
TOTAL SPACES:	31

SETBACKS:
FRONT YARD SETBACK: 50'
SIDE YARD SETBACK: 20'
REAR YARD SETBACK: 20'

1. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. REFER TO ALTA SHEET FOR BENCHMARK INFORMATION.
4. ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
5. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
6. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
7. EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRILLPILE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRILLPILE.

1. ALL WORKSMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT WISCONSIN DEPARTMENT OF TRANSPORTATION (wisDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
3. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
4. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE WHITE.
5. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE COMPANIES. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
6. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
7. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
8. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
9. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET MUNICIPAL STANDARDS.

	STANDARD CURB AND GUTTER
	PITCH OUT CURB AND GUTTER

**PROGRESSIVE
COMPANIES**

PROGRESSIVE ARCHITECTURE ENGINEERING & PLANNING I LLC

Charlotte, NC | Detroit, MI | Grand Rapids, MI
wearprogressive.com

CHRISTIAN BROTHERS AUTOMOTIVE
AUTOMOTIVE SERVICE CENTER

COA ARCHITECT COA ENGINEER

**NOT FOR
CONSTRUCTION**

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ISSUANCE

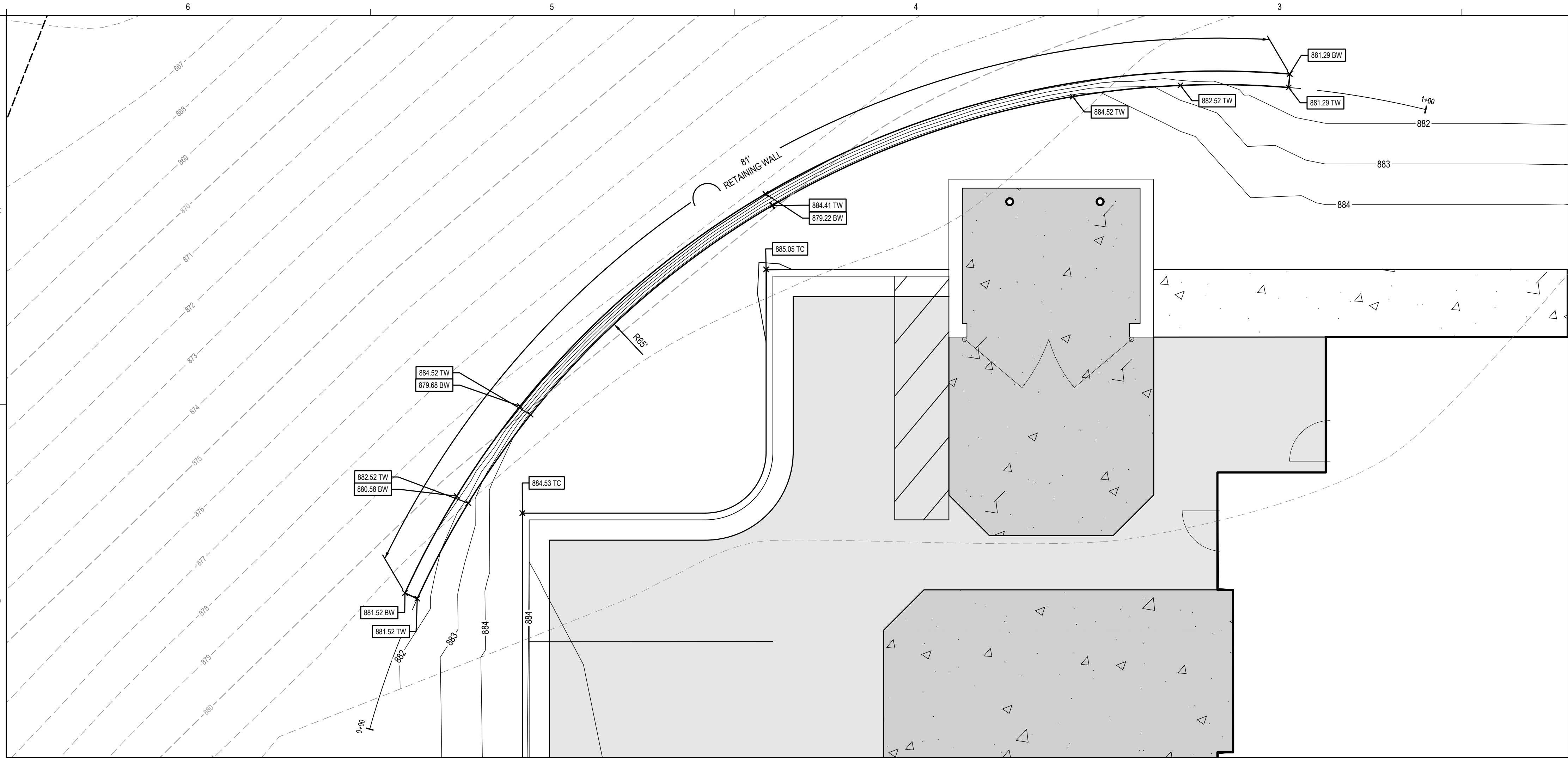
07/10/2026 SITE PLAN REVIEW

PROJECT NUMBER
70050026

PROJECT MANAGER
A. Ziebell

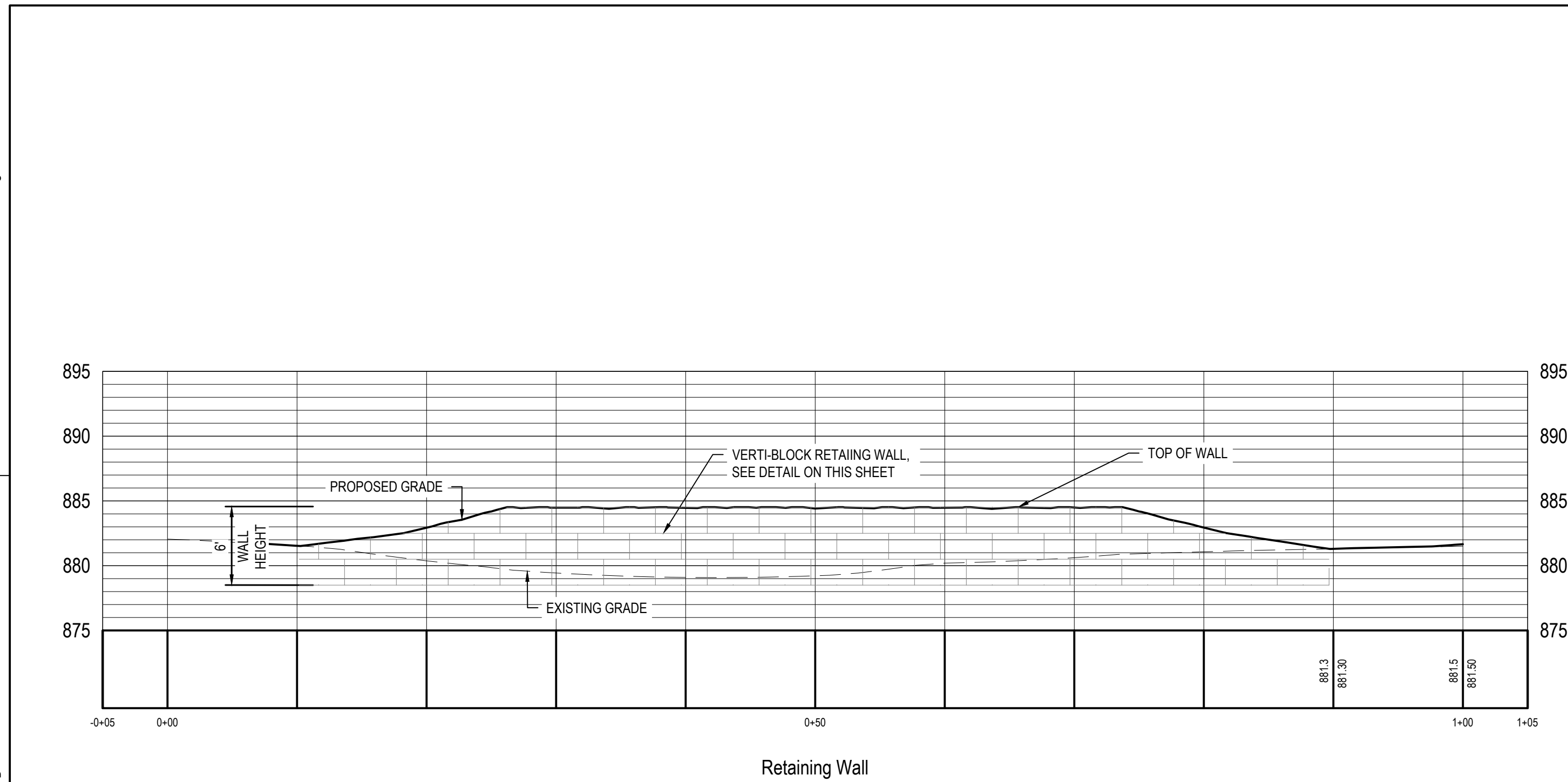
PROFESSIONAL
A. Ziebell
DRAWN BY
K. Holleman
CHECKED BY
B. Simon

SITE LAYOUT PLAN C201

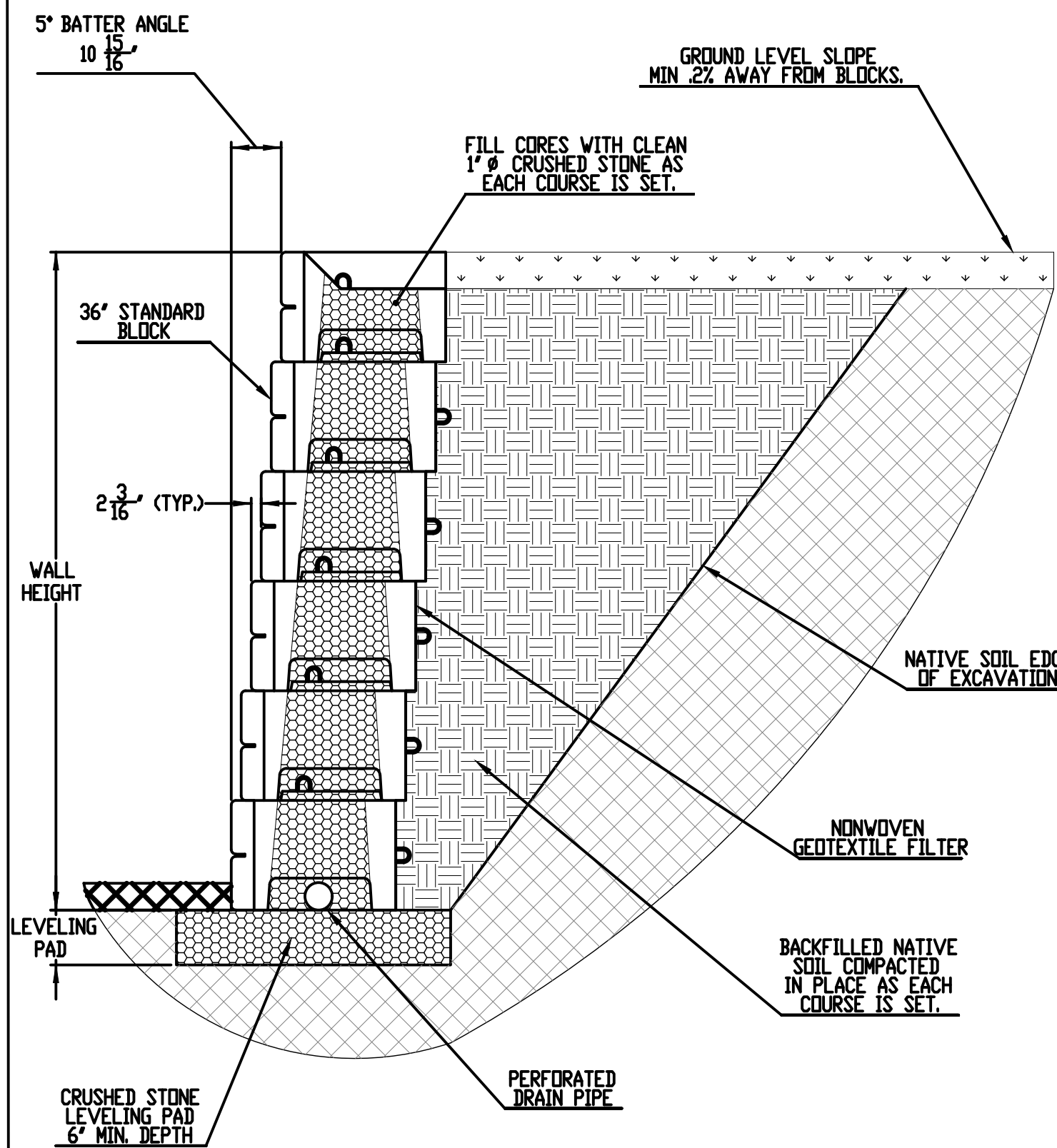


GRADING LEGEND
TW = TOP OF WALL
BW = BOTTOM OF WALL

RETAINING WALL PLAN
1"= 5'
0 5'

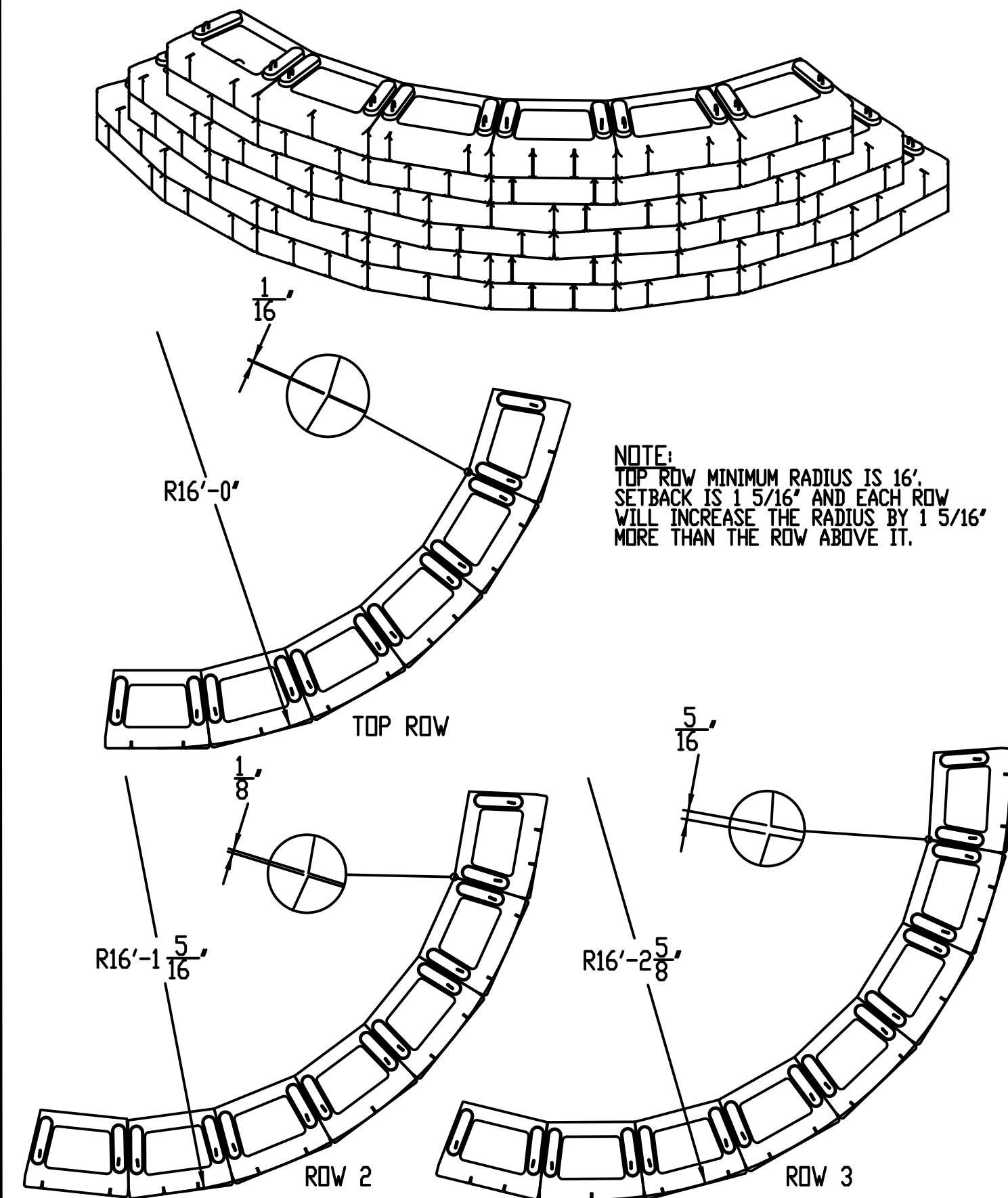


TYPICAL GRAVITY WALL WITH 36" VERTI-BLOCK

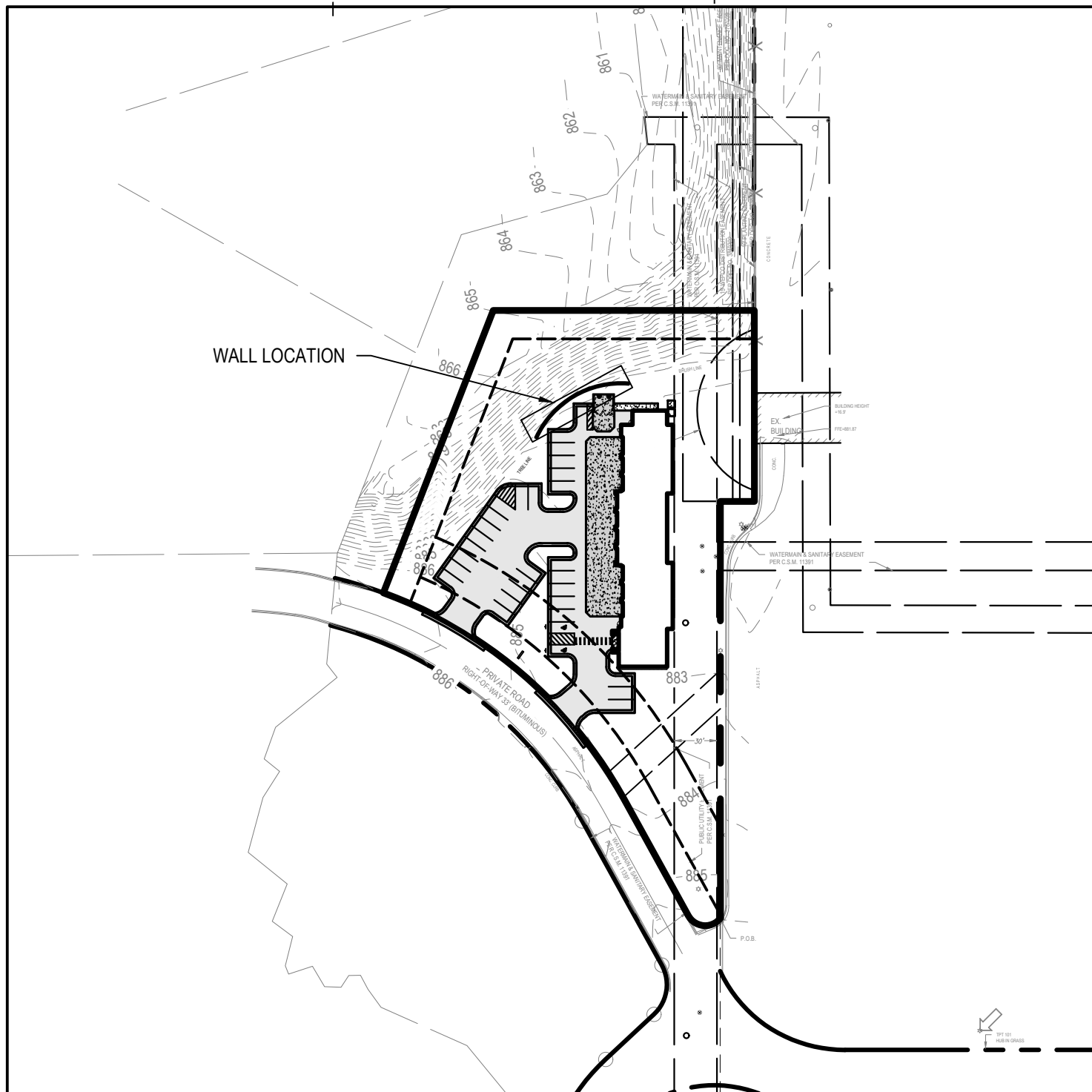


VERTI-BLOCK	DRAWN BY	DATE	TITLE
	DAN BALLING	12/12/2013	12' RETAINING SECTION
16500 SOUTH 500 WEST BLUFFDALE, UTAH 84065 PHONE: (801) 571-2028		PAGE NO.	WD-14
		SCALE: 3/8"	SHEET 1 OF 1

OUTSIDE CURVE DETAIL



VERTI-BLOCK	DRAWN BY	DATE	TITLE
	DAN BALLING	12/12/2013	OUTSIDE CURVE
16500 SOUTH 500 WEST BLUFFDALE, UTAH 84065 PHONE: (801) 571-2028		PAGE NO.	WD-6
		SCALE: 3/8"	SHEET 1 OF 1



VICINITY MAP
1"= 60'
0 60'

CHRISTIAN BROTHERS AUTOMOTIVE

AUTOMOTIVE SERVICE CENTER

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COMPANIES

Charlotte, NC | Detroit, MI | Grand Rapids, MI
weareprogressive.com

COA ARCHITECT

COA ENGINEER

NOT FOR
CONSTRUCTION

If this document is issued and signed in a digital or electronic format and is received from someone other than the sealing professional identified in the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

ISSUANCE

07/10/2026 SITE PLAN REVIEW

PROJECT NUMBER

70050026

PROJECT MANAGER

A. Ziebell

PROFESSIONAL

A. Ziebell

DRAWN BY

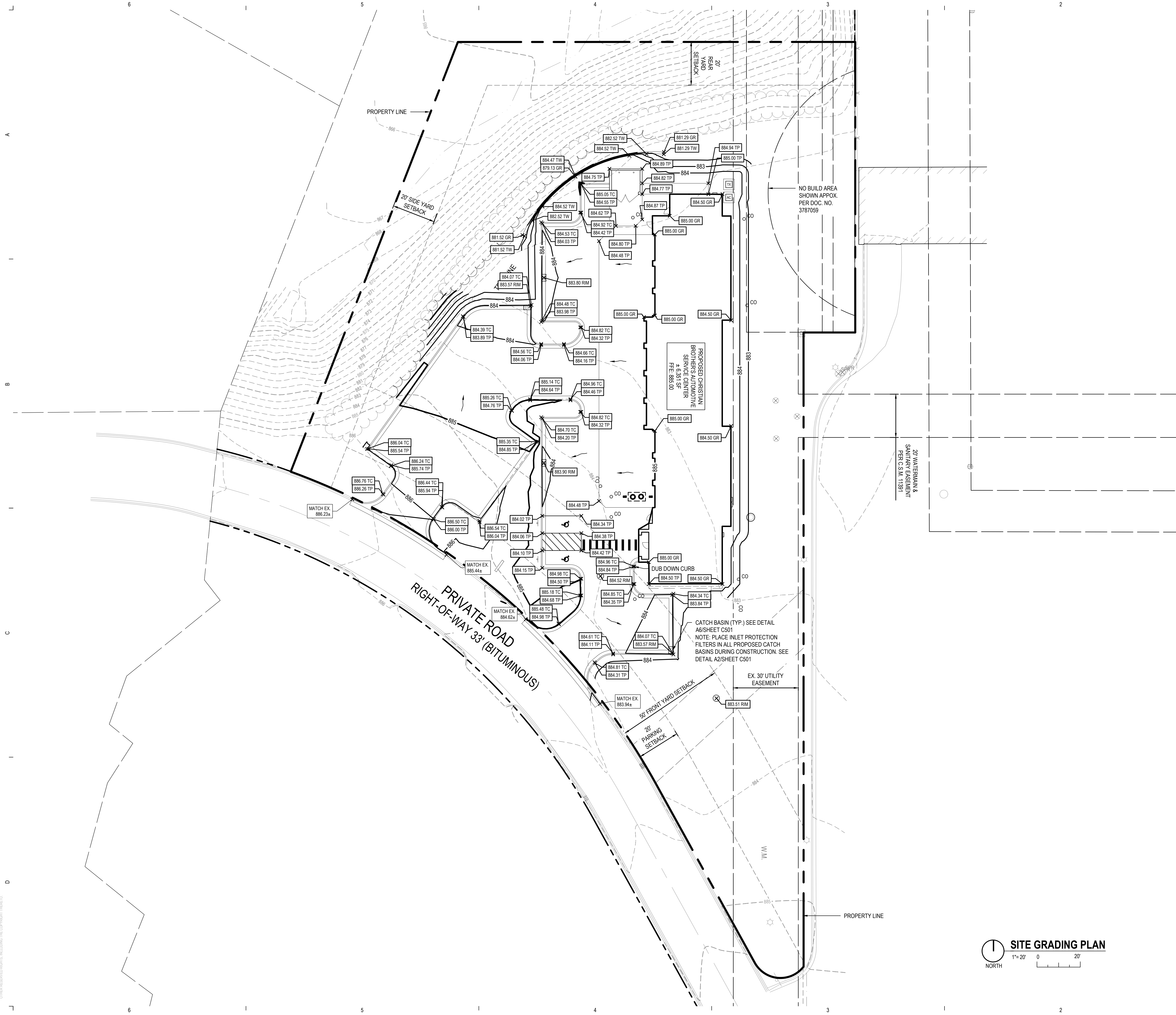
K. Holleman

CHECKED BY

B. Simon

RETAINING WALL
PLAN

C202



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

EARTHWORK & GRADING NOTES

- EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
- PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE AT A MINIMUM OF 1.5 PERCENT.
- THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE.
- ANY ON-SITE SOILS USED FOR ENGINEERED FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, MODIFIED PROCTOR METHOD
- ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
- SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE UNLESS SHOWN OTHERWISE.
- EXCESS TOPSOIL SHALL BE SPOILED ON SITE IN LOCATION DETERMINED WITH OWNER AND ENGINEER AND SEEDED.
- PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
- UNLESS SHOWN OTHERWISE, FINISH GRADES OF LAWN/LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 6" BELOW FINISH FLOOR ELEVATION.
- PLACE 4" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEEDED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.

GRADING LEGEND

	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP
	RIDGE

BENCHMARKS:

BM 1 SET CHIS. "X" IN LIGHT POLE BASE	ELEVATION = 888.46
--	--------------------

SURVEY

DATE: DATUM:	01/26/2026 NAVD 88
-----------------	-----------------------



SANITARY STRUCTURE DATA			
STRUCTURE	RIM	INVERT	ELEVATION
CO#301	880.18	6° NE	875.83
CO#302	884.16	6° E	876.30
CO#303	884.56	6° SE	876.48
CO#304	884.63	6° S	876.72
CO#305	884.60	6° S.	876.91
EX. SAN MANHOLE	882.35		
M#H#74	871.80	8° S. 8° N.	871.07 871.07
M#H#75	871.35	8° S. 8° N.	870.62 870.62
M#H#76	871.00	8° S. 8° N.	870.28 870.28
M#H#77	870.83	8° S. 8° N.	870.03 868.50
M#H#78	2.19	8° S. 8° N.	1.46 1.36
M#H#79	2.09	8° S. 8° N.	1.36 1.26

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UTILITY LEGEND	
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC
	GAS LINE
	TELEPHONE LINE
	SANITARY SEWER
	STORM SEWER
	UNDERDRAIN
	WATERMAIN
	POWER POLE
	TRANSFORMER
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	AIR CONDITIONER
	GAS VALVE
	GAS METER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	CATCH BASIN
	
	FLARED END SECTION W/ RIPRAP
	
	WATER VALVE
	POST INDICATOR VALVE
	WATER REDUCER

PROGRESSIVE
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AUTOMOTIVE SERVICE CENTER

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ISSUANCE

07/10/2026 SITE PLAN REVIEW

PROJECT NUMBER
70050026

PROJECT MANAGER
A. Ziebell

PROFESSIONAL
A. Ziebell

DRAWN BY
K. Holleman

CHECKED BY
B. Simon

SITE UTILITY PLAN C401

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D

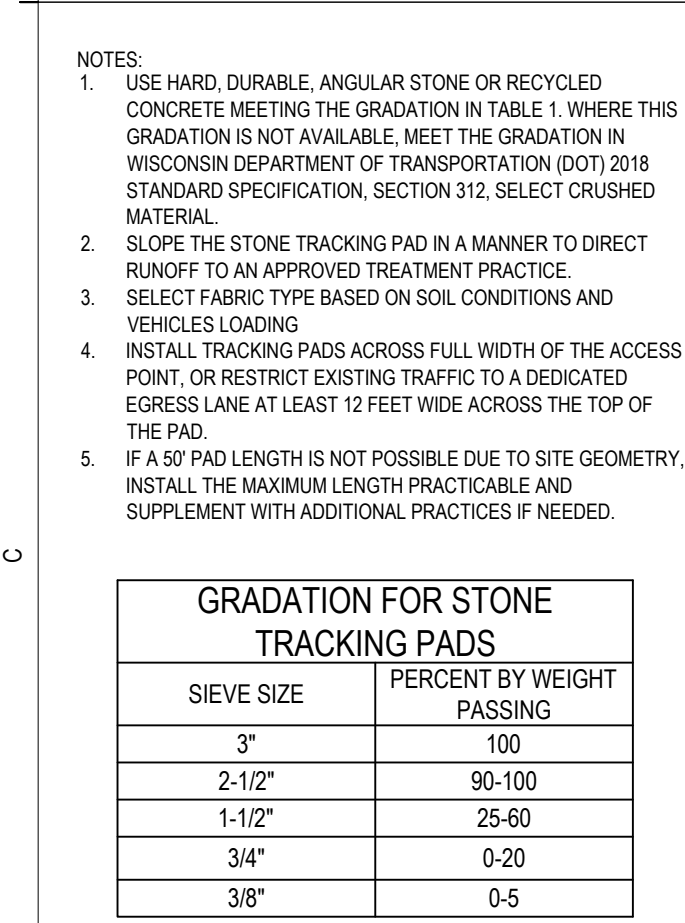
C

B

A

7

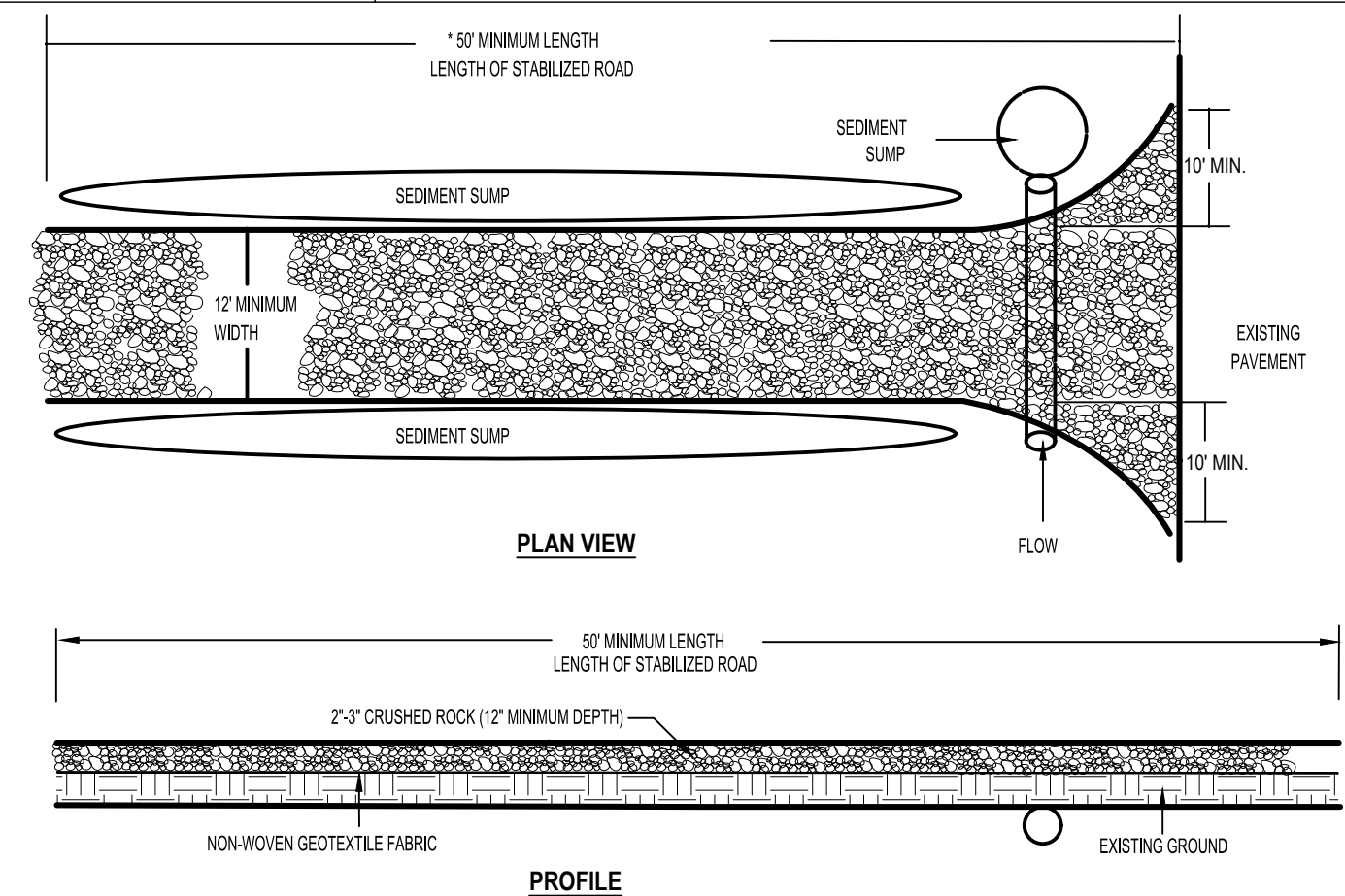
C6 STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE



6

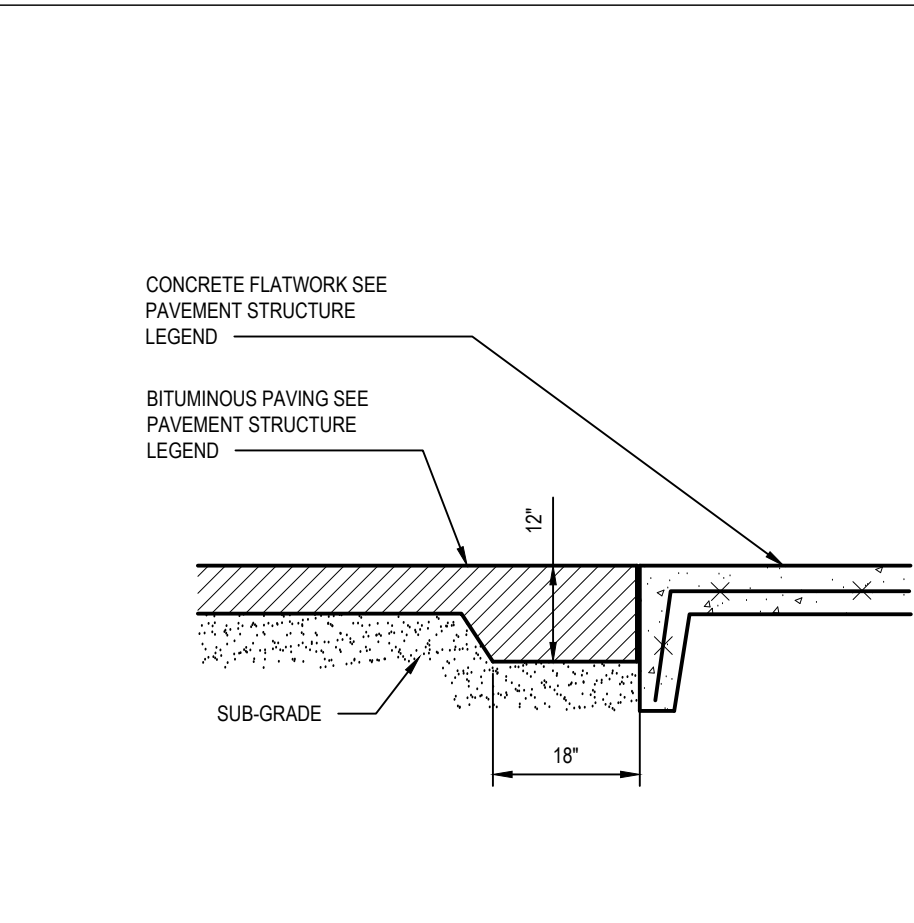
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C5 STABILIZED CONSTRUCTION ACCESS
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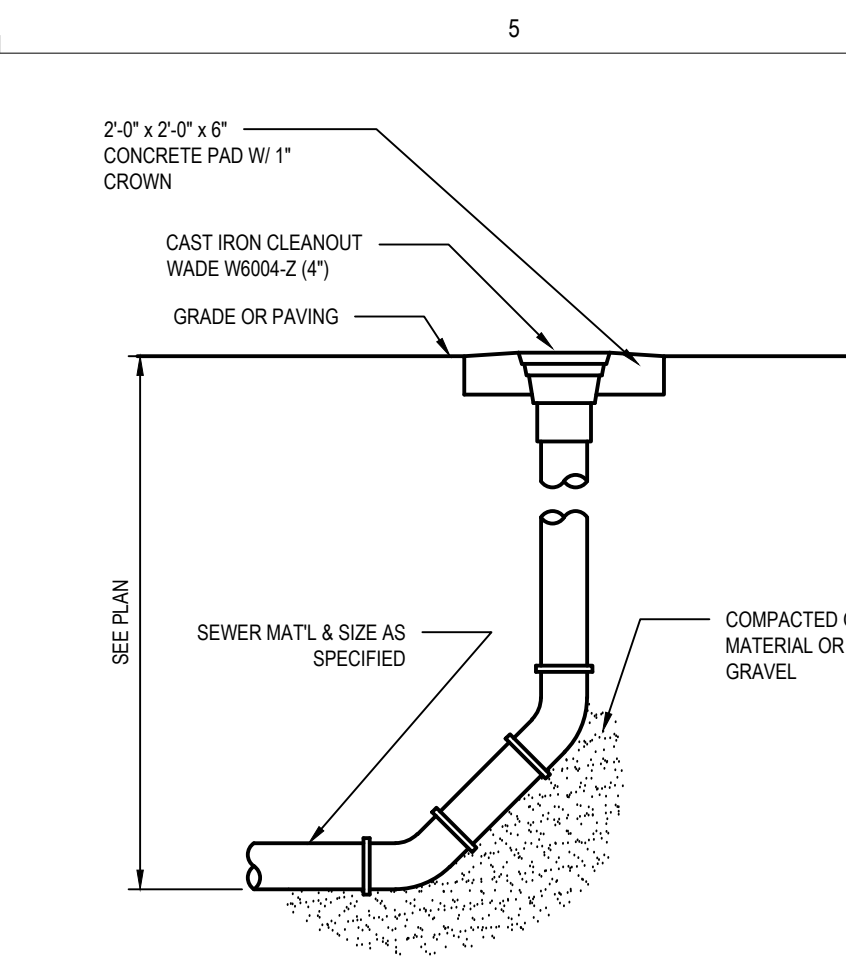


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B5 TURNDOWN BITUMINOUS PAVEMENT DETAIL
NOT TO SCALE



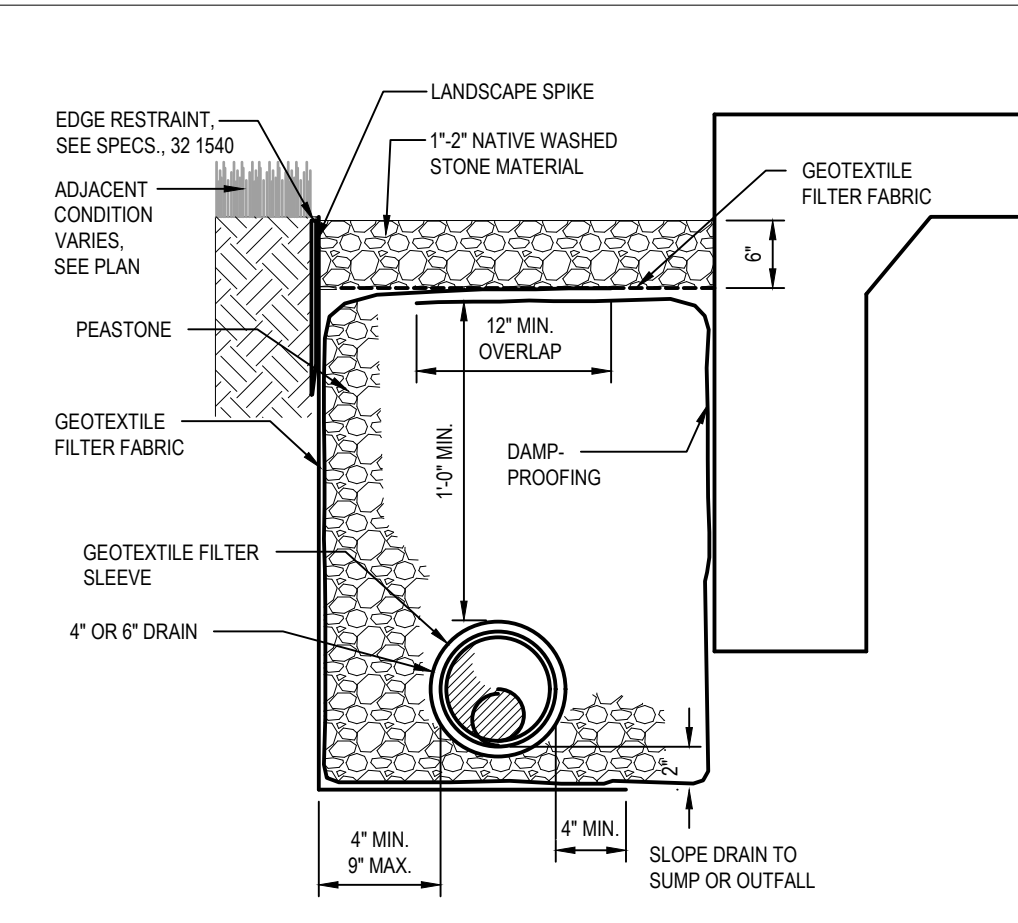
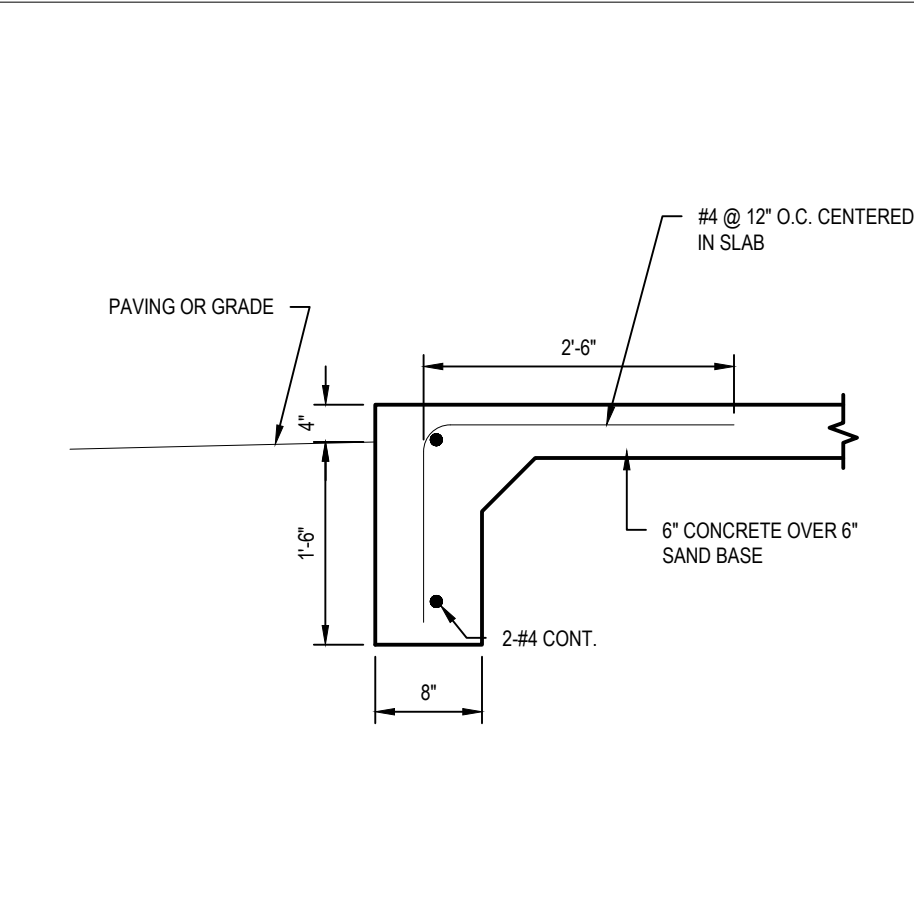
A5 TYPICAL CLEANOUT DETAIL
NOT TO SCALE



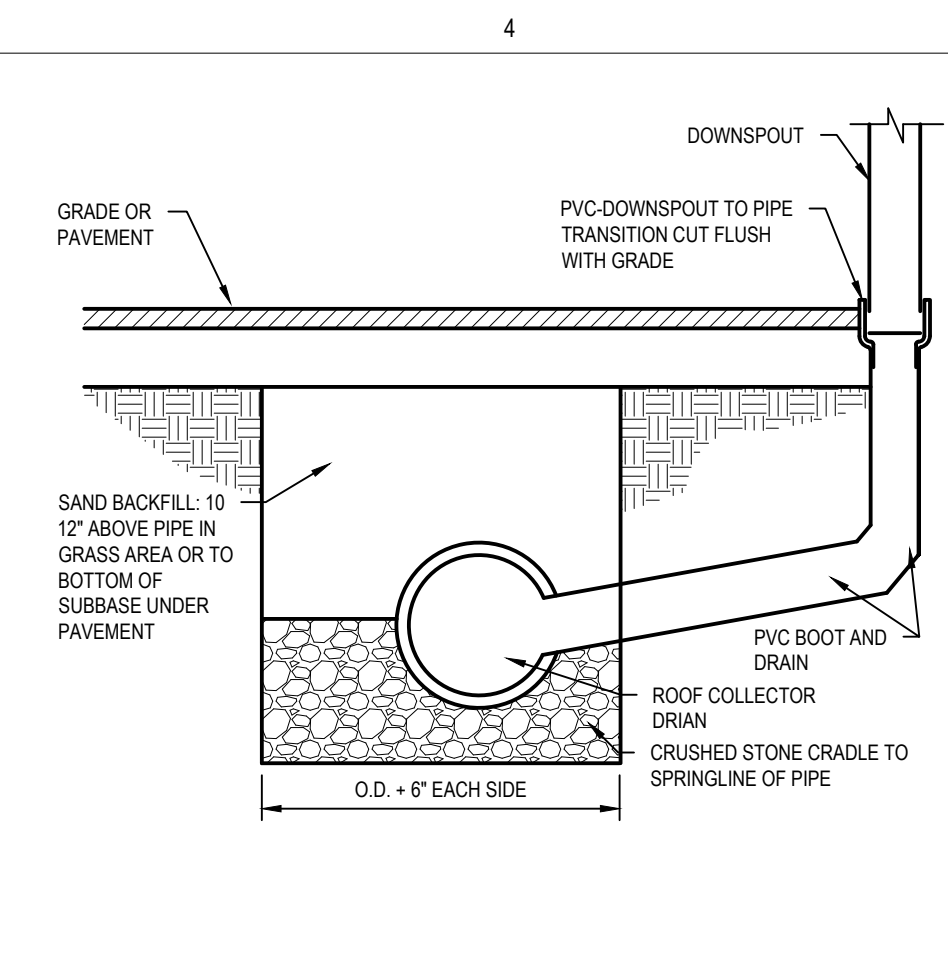
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1

C4 UTILITY PAD/TURNED DOWN DETAIL
NOT TO SCALE



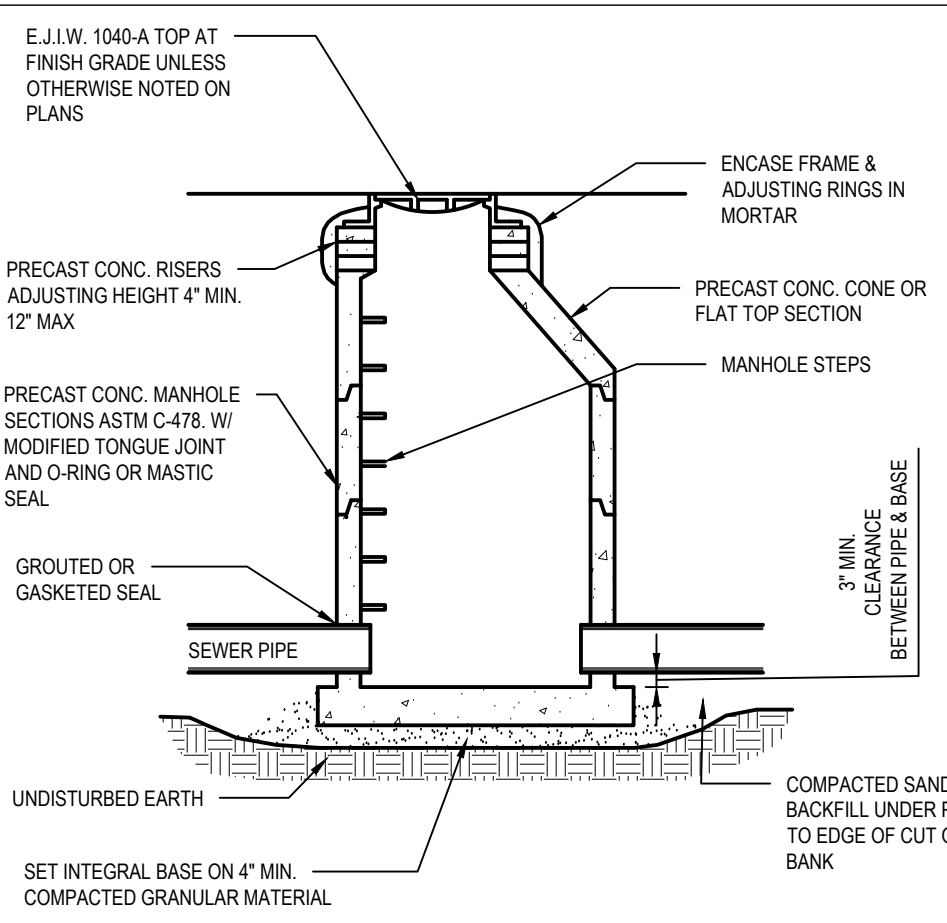
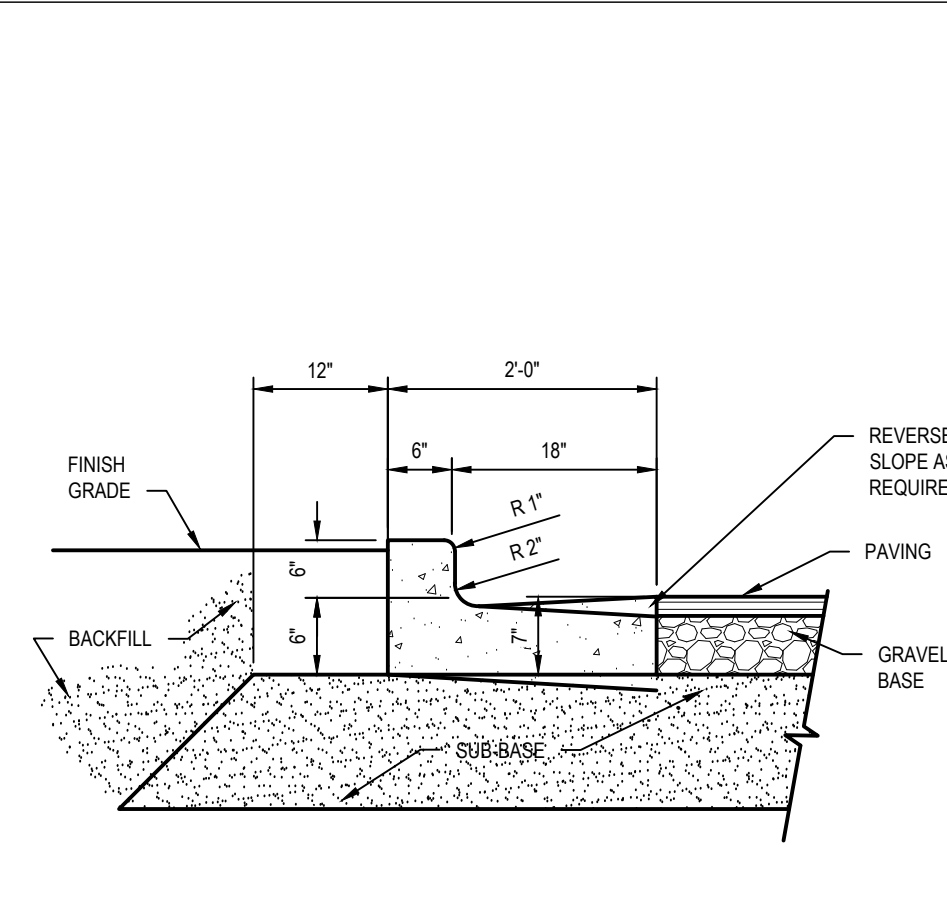
A4 DOWNSPOUT COLLECTOR/BOOT DETAIL
NOT TO SCALE



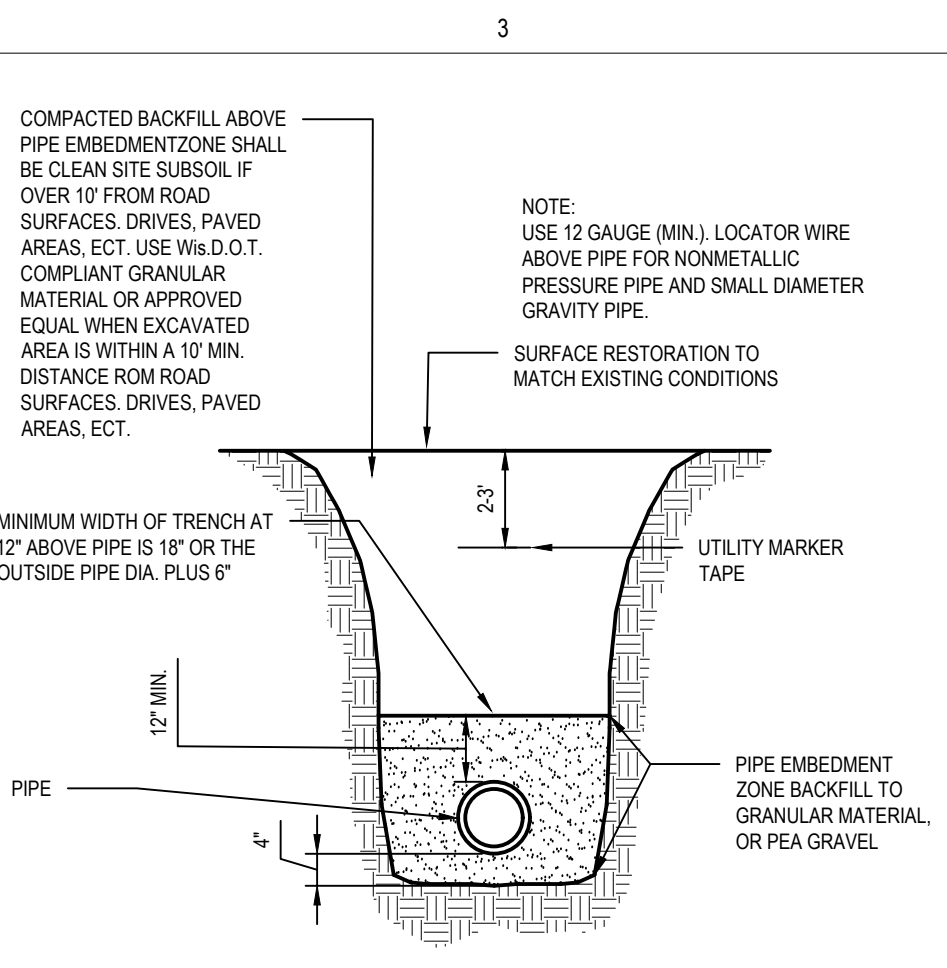
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C3 TYPICAL CURB & GUTTER DETAIL
NOT TO SCALE



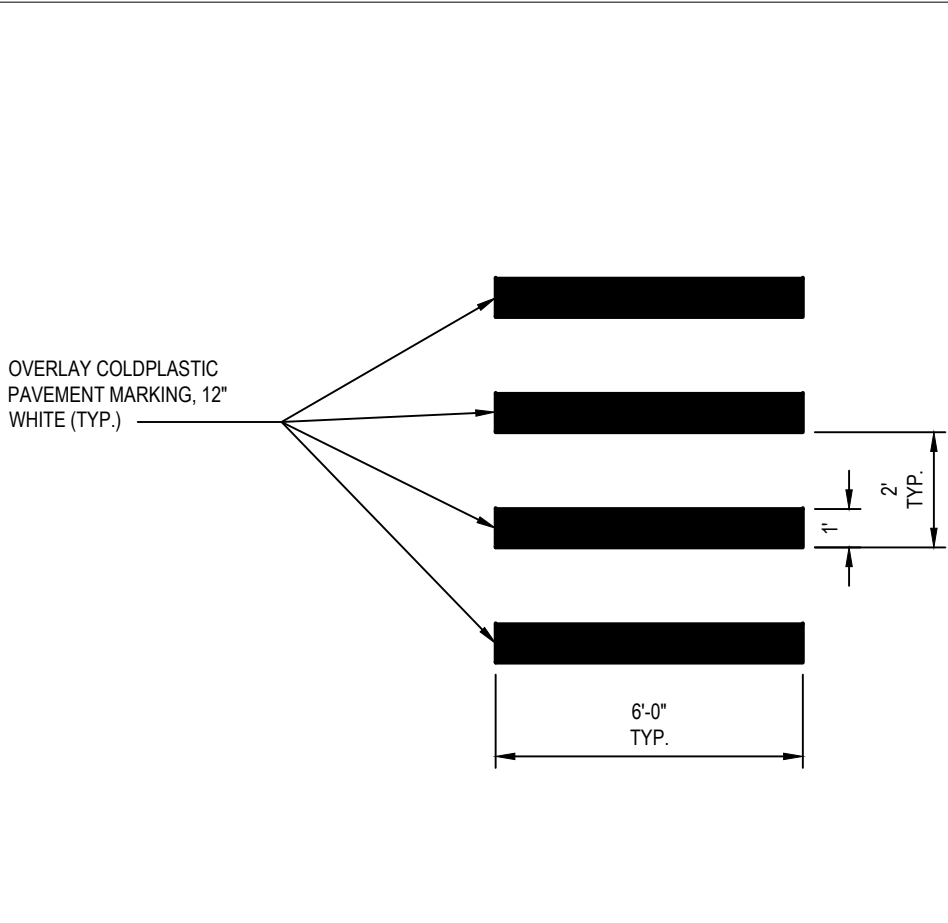
A3 TYPICAL PIPE BEDDING DETAIL
NOT TO SCALE



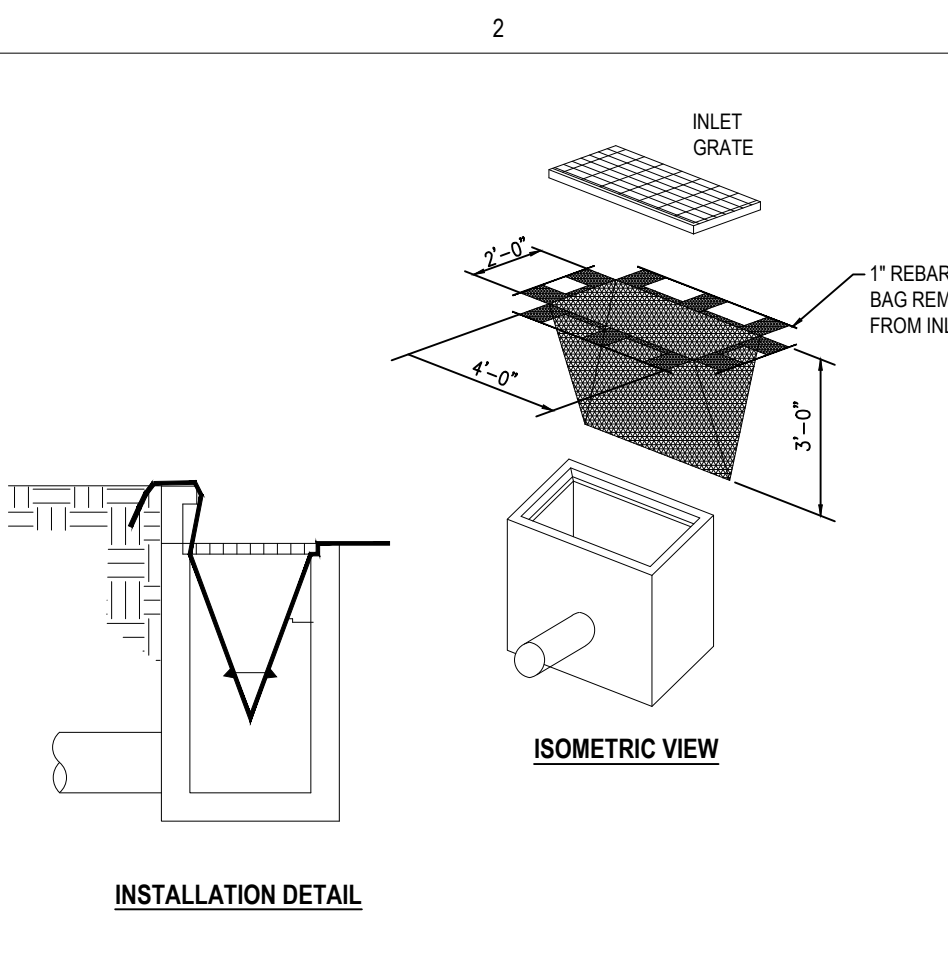
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C2 CROSSWALK PAVEMENT MARKING DETAIL
NOT TO SCALE

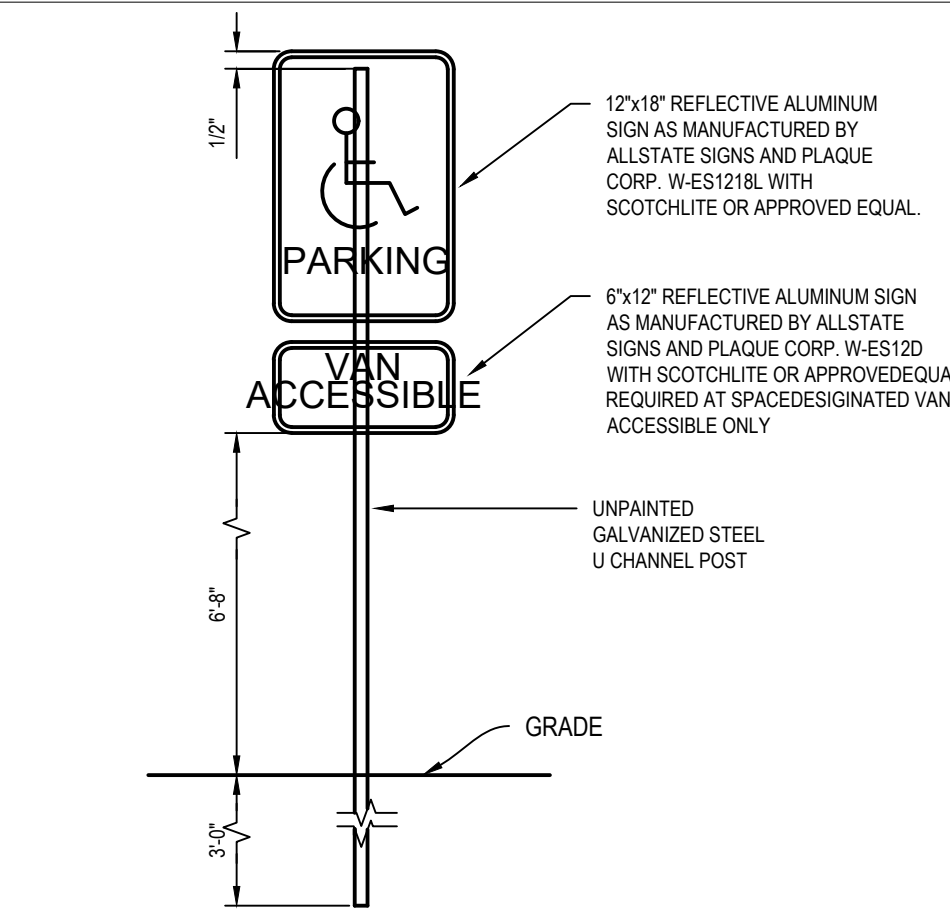
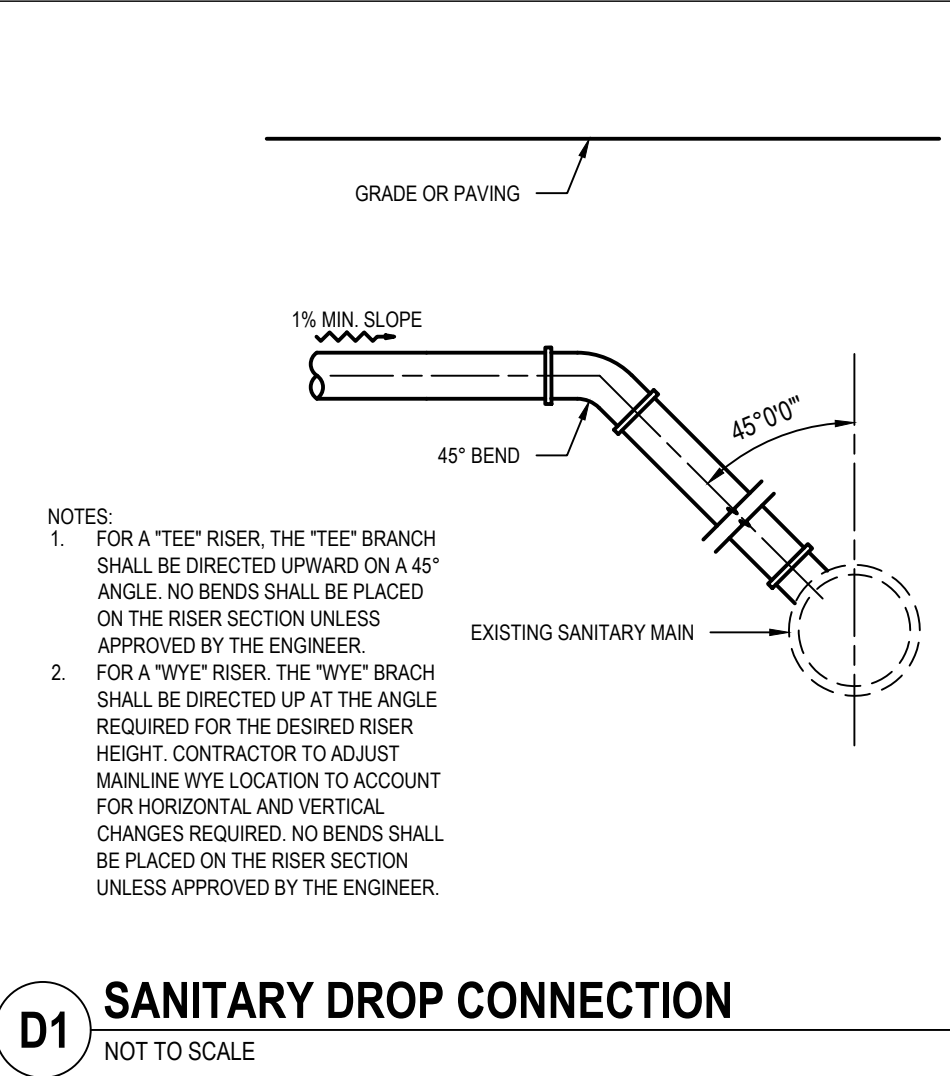


A2 INLET PROTECTION - FABRIC DROP
NOT TO SCALE

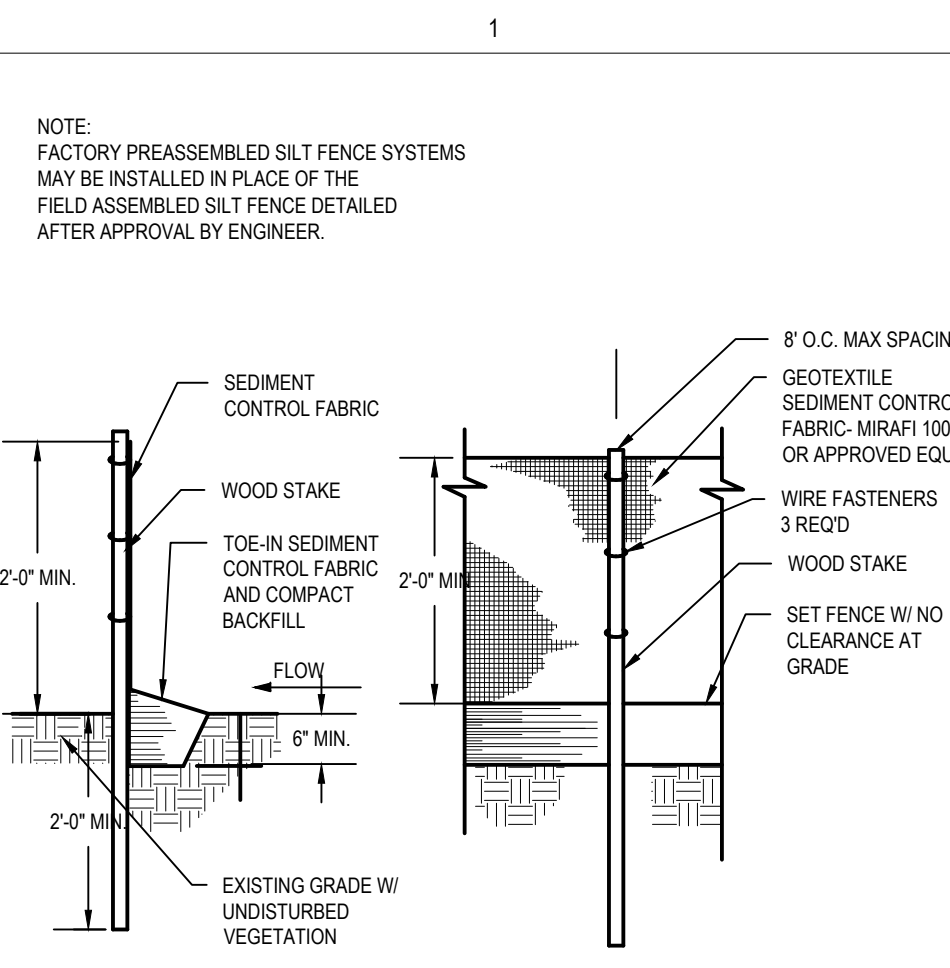


2

D1 SANITARY DROP CONNECTION
NOT TO SCALE



A1 SILT FENCE DETAIL
NOT TO SCALE



1

6

5

4

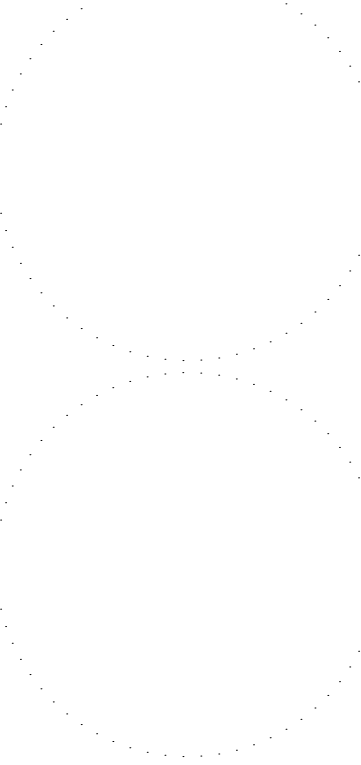
3

2

1



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811
SERVICE AT LEAST 3 WORKING
DAYS PRIOR TO CONSTRUCTION,
TO CONFIRM LOCATION OF
EXISTING UTILITIES. DIAL 811.



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ISSUANCE

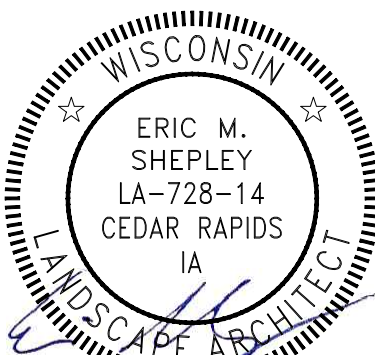
PROJECT NUMBER
70050026
PROJECT MANAGER
J. Manion
PROFESSIONAL

DRAWN BY

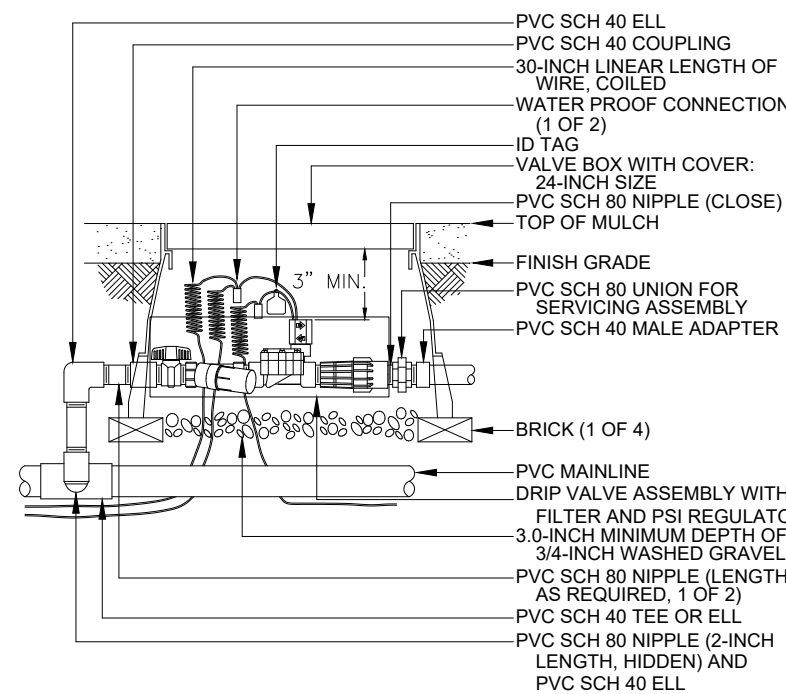
CHECKED BY

IRRIGATION
DETAILS

LI-2

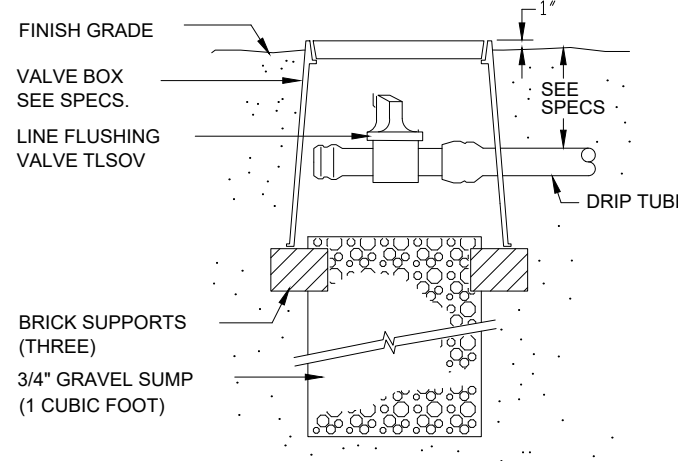


11/20/2025



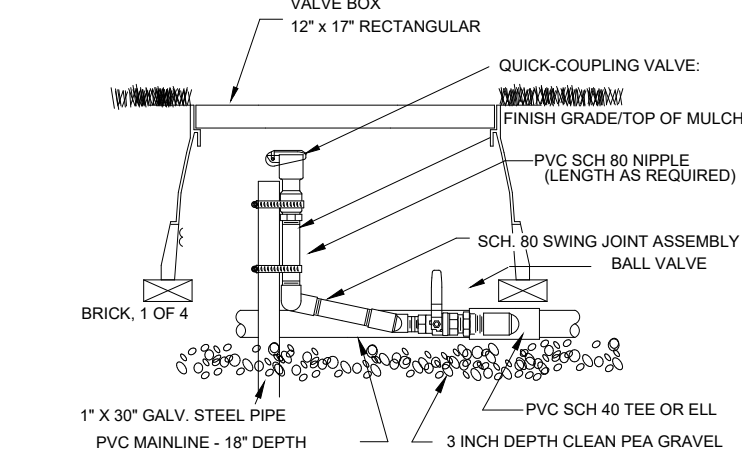
CONTROL ZONE KIT

N.T.S.



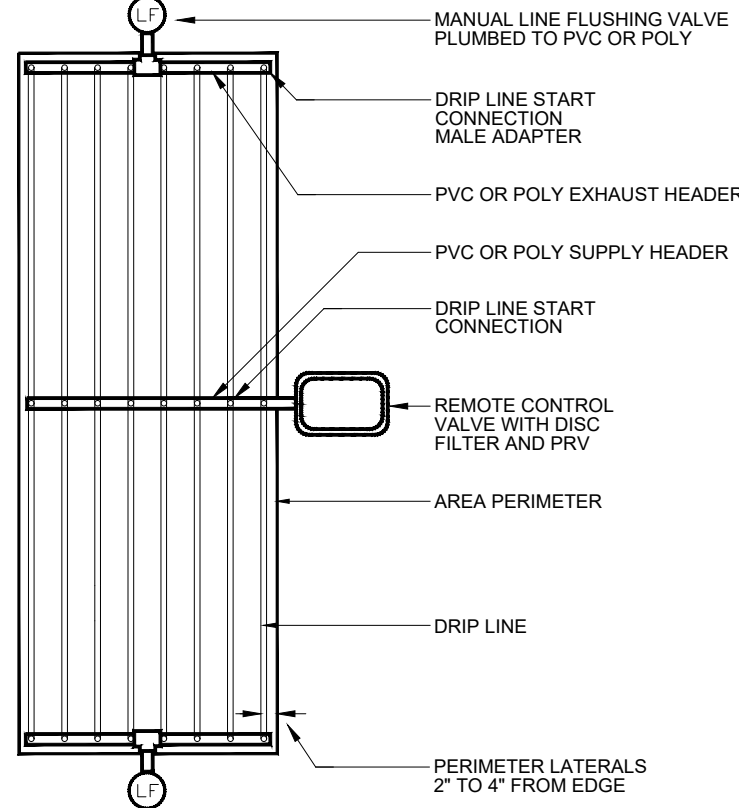
MANUAL LINE FLUSH VALVE

N.T.S.



QUICK COUPLER VALVE WITH PVC BALL VALVE

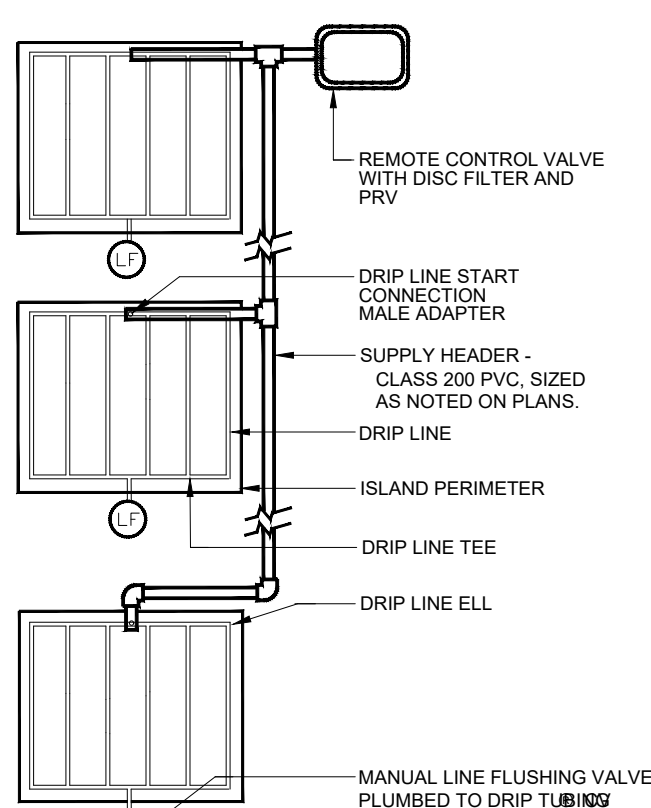
N.T.S.



SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE.
USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIP CENTER FEED LAYOUT

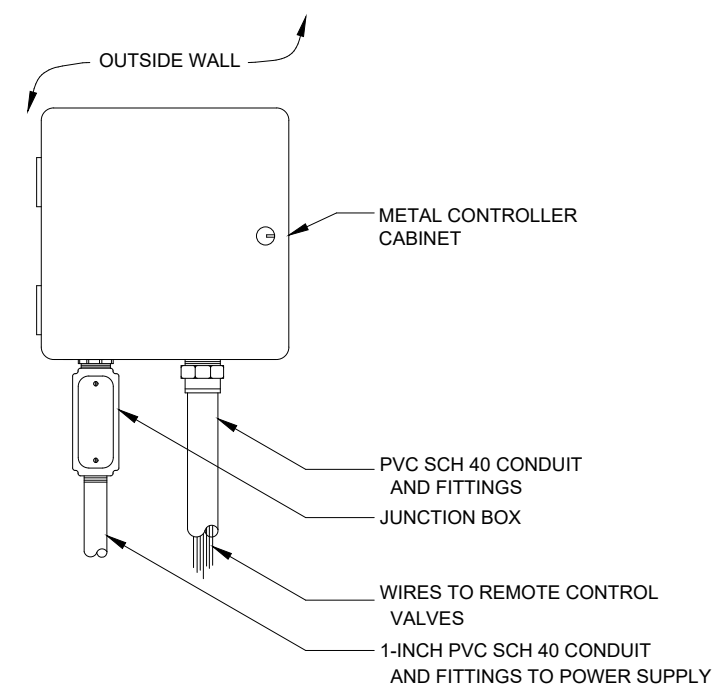
N.T.S.



USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

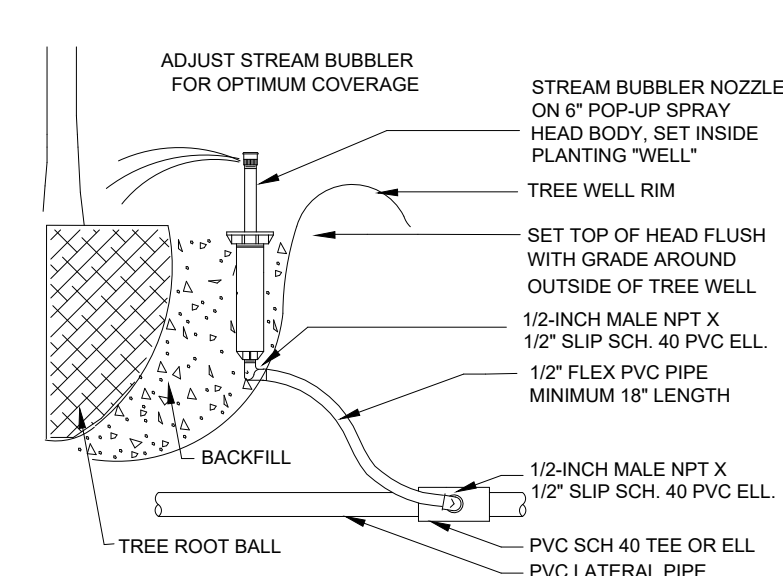
DRIP ISLAND LAYOUT

N.T.S.



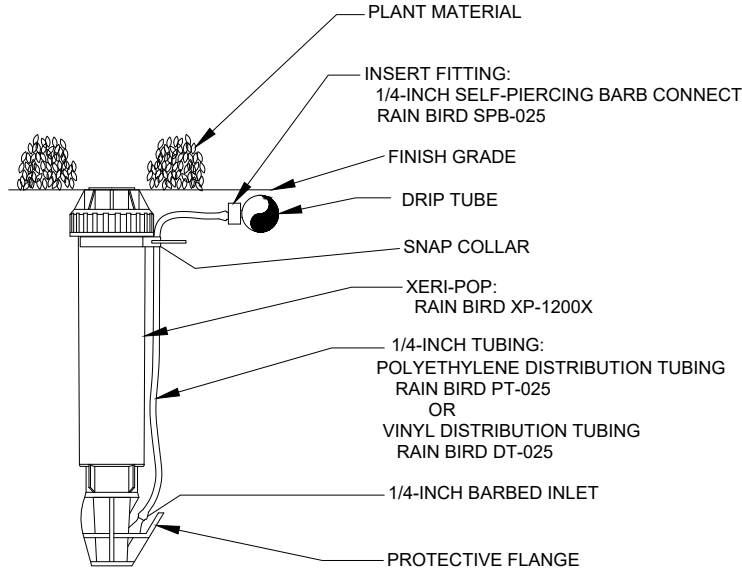
WALL MOUNT CONTROLLER

N.T.S.



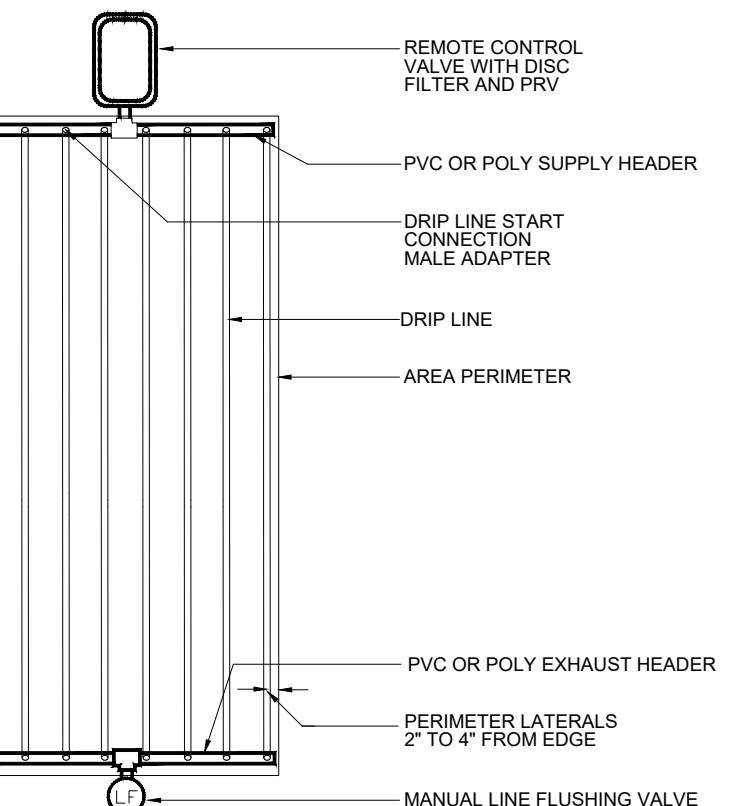
TREE BUBBLER

N.T.S.



DRIP ZONE INDICATOR

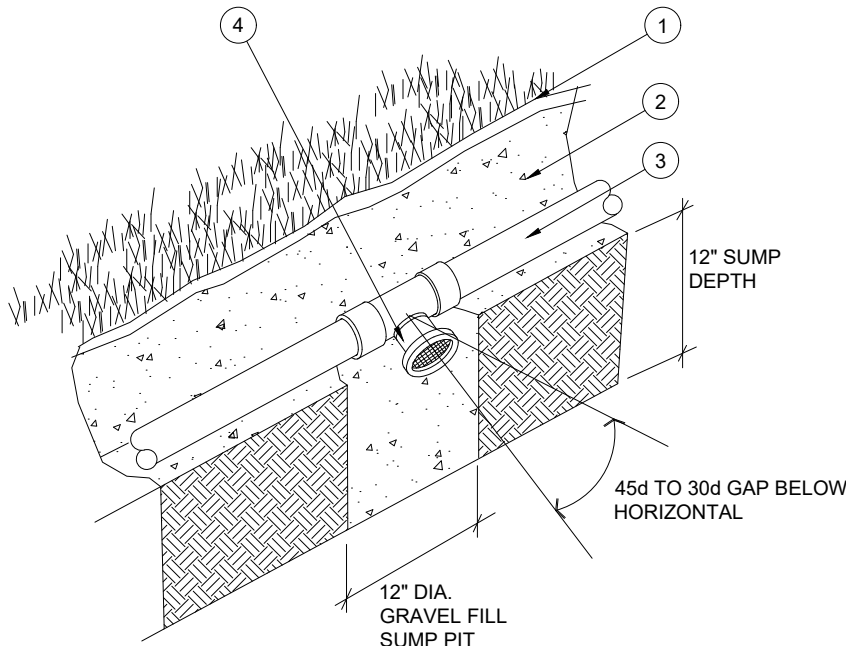
N.T.S.



SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE.
USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIP END FEED LAYOUT

N.T.S.

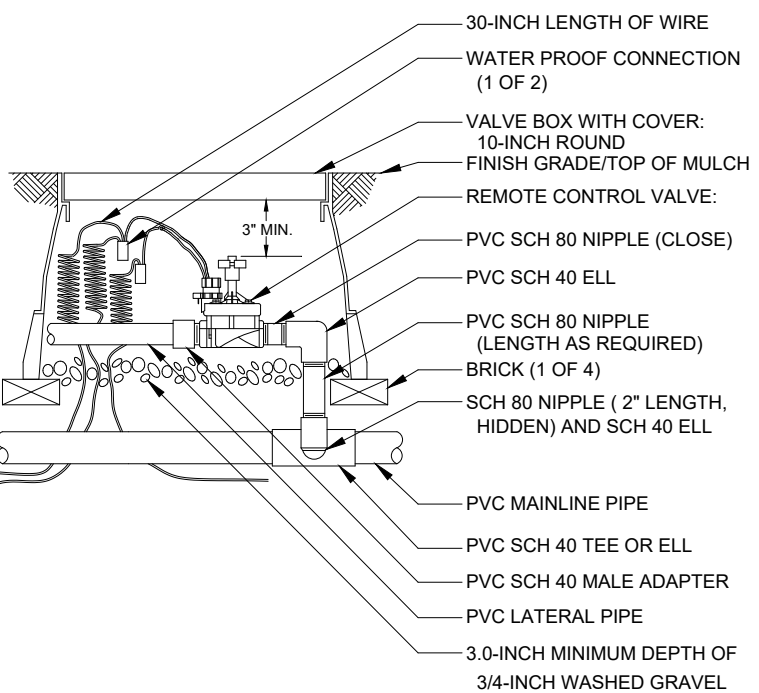


NOTE:
AUTOMATIC VALVES ARE TO BE LOCATED AT LOW POINTS OF LATERAL LINES. LOCATE END DRAIN VALVE 12" UPSTREAM FROM LAST HEAD.

- 1 FINISH GRADE
- 2 PIPE TRENCH
- 3 LATERAL LINE PIPE
- 4 AUTOMATIC DRAIN VALVE

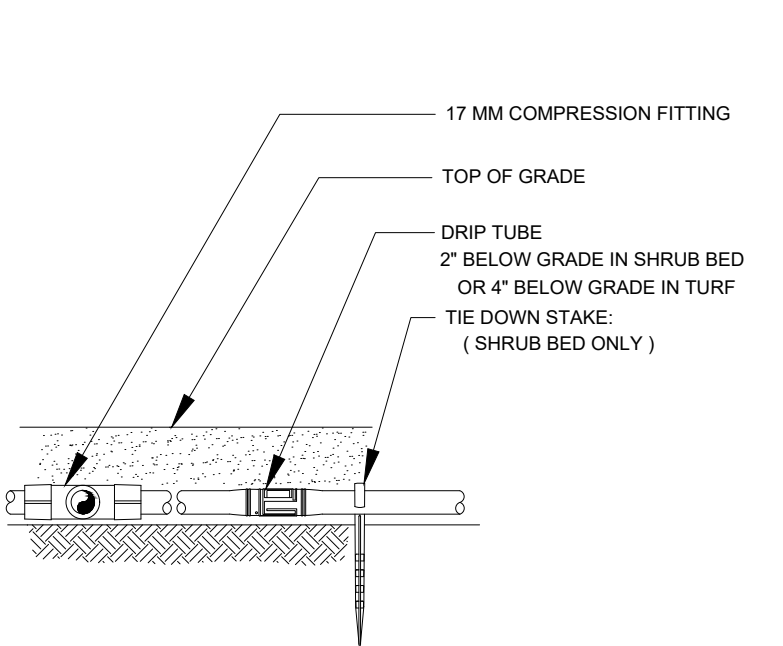
AUTOMATIC DRAIN VALVE

N.T.S.



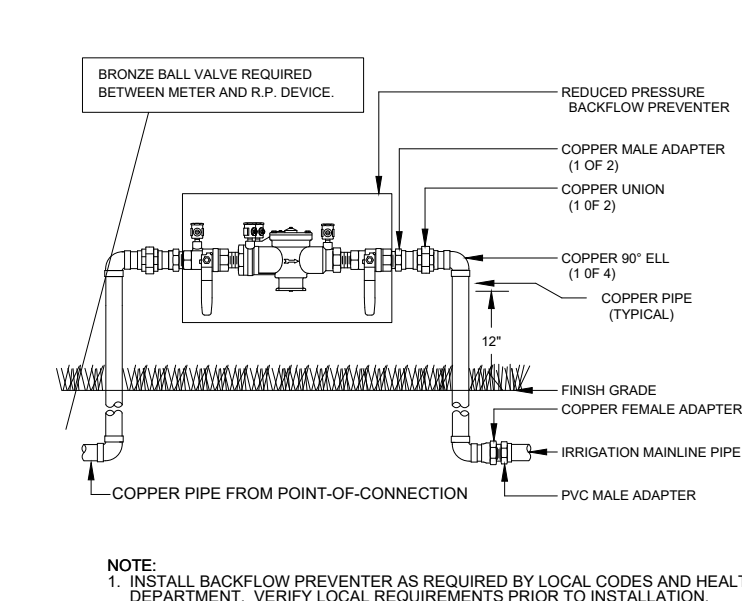
REMOTE CONTROL VALVE

N.T.S.



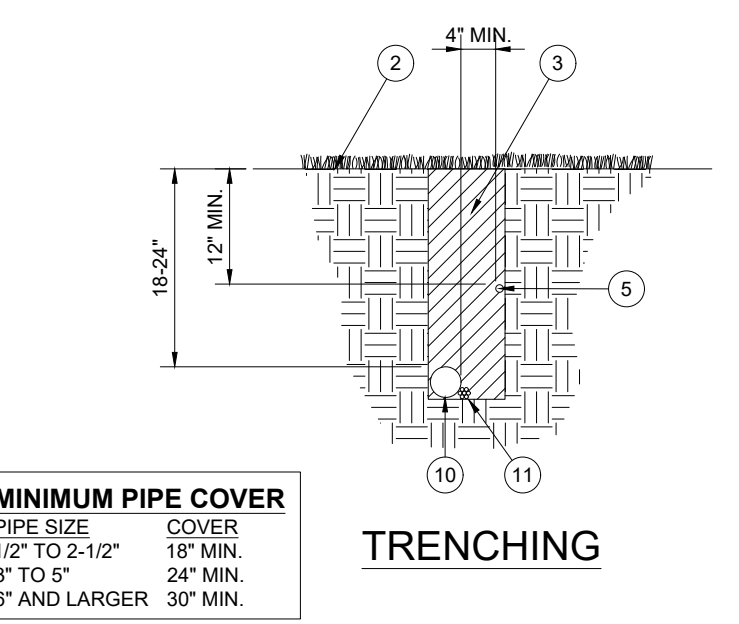
DRIP TUBE

N.T.S.



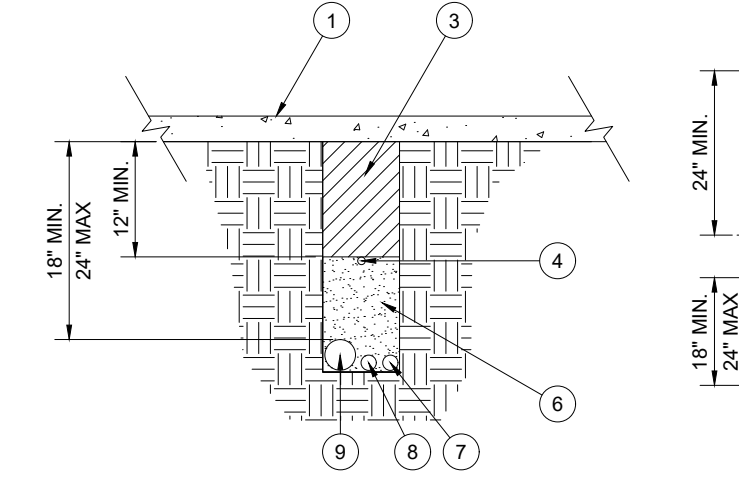
RP DEVICE

N.T.S.



MINIMUM PIPE COVER
PIPE SIZE COVER
1/2" TO 2-1/2" 18" MIN.
3" TO 5" 24" MIN.
6" AND LARGER 30" MIN.

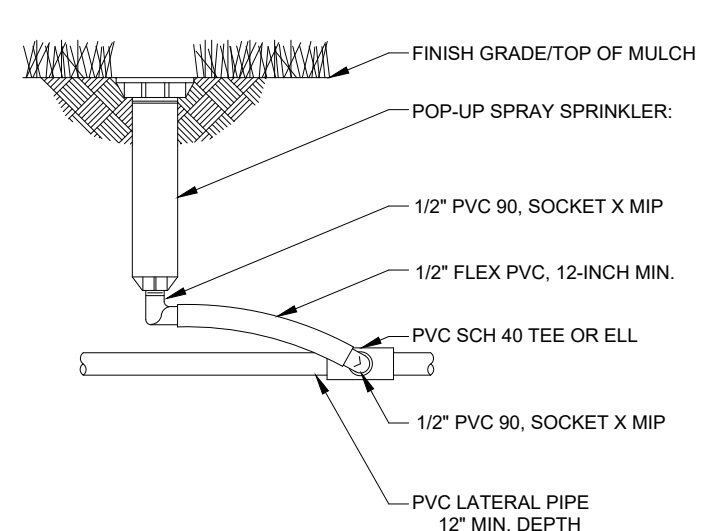
TRENCHING



SLEEVING

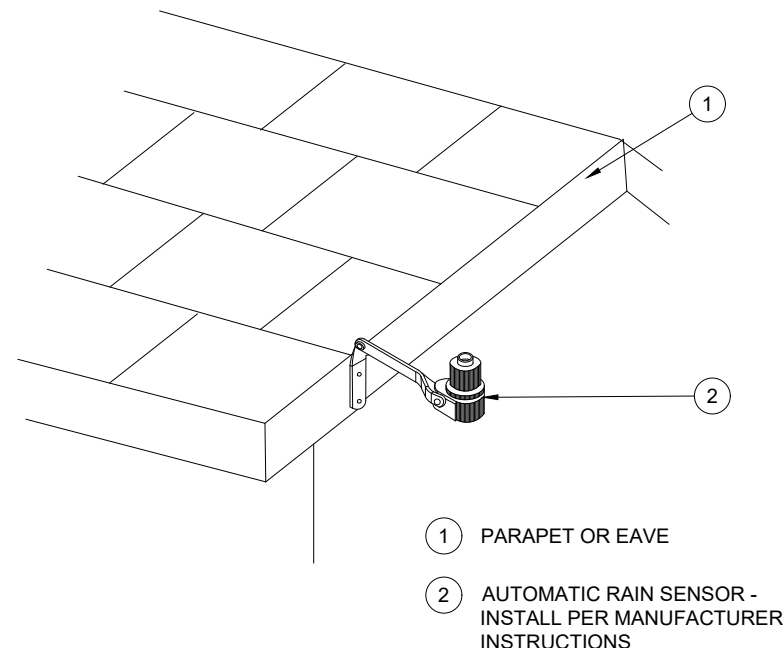
PIPE AND SLEEVE INSTALLATION

N.T.S.



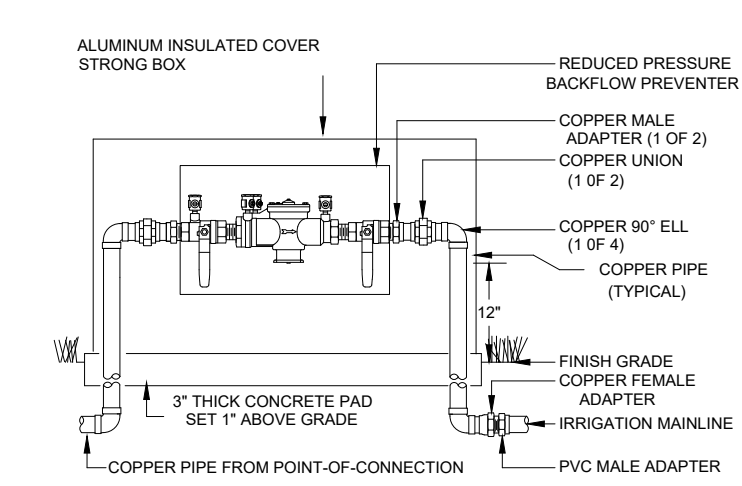
POP-UP SPRAY HEAD

N.T.S.



RAIN SENSOR, ROOF MOUNT

N.T.S.



RP DEVICE WITH INSULATED COVER

N.T.S.

IRRIGATION SPECIFICATIONS

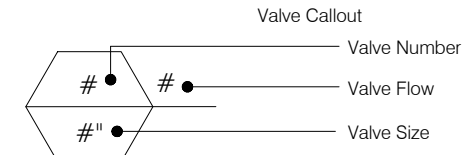
GENERAL	
A. QUALIFICATIONS OF IRRIGATION CONTRACTOR	
1. ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS. SEE THE IRRIGATION PLAN FOR SPECIFIC EQUIPMENT AND SYSTEM LAYOUT.	
2. THE IRRIGATION CONTRACTOR MUST HAVE ON ITS STAFF A LICENSED IRRIGATION INSTALLER, AS REGULATED BY THE APPROPRIATE LOCAL JURISDICTION. A LICENSED IRRIGATION INSTALLER SHALL BE PRESENT AT THE PROJECT SITE AT ALL TIMES AS WORK IS IN PROGRESS. THE OWNER MAY DEMAND THAT WORK STOP UNTIL THE CONTRACTOR PROVIDES FOR A LICENSED IRRIGATION INSTALLER TO BE PRESENT AT THE PROJECT SITE AND SUPERVISING ALL IRRIGATION WORK.	
3. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.	
B. SCOPE OF WORK	
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES, AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND/OR SHOWN ON THE IRRIGATION PLANS, NOTES, AND DETAILS.	
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND LOCAL AND/OR STATE CODES, CODES SHALL PREVAIL.	
3. THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. THE IRRIGATION PLAN IS GENERALLY DIAGRAMMATIC; COORDINATE IRRIGATION INSTALLATION WITH UTILITY INSTALLATIONS. ACTUAL LOCATION OF CONTROLLER, BACKFLOW DEVICE, PIPING, VALVES, SPRAY HEADS, DRIP IRRIGATION, AND RELATED EQUIPMENT MAY NEED TO BE ADJUSTED BASED ON ACTUAL SITE CONDITIONS.	
4. FOR CLARITY PURPOSES, SOME IRRIGATION LINES AND EQUIPMENT ARE SHOWN IN HARDSCAPE AREAS WITHOUT ACCESS SLEEVES; THESE LINES SHALL BE INSTALLED IN A COMMON TRENCH OR AT THE BACK OF CURB IN LANDSCAPE AREAS. MINOR FIELD ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.	
PRODUCTS	
A. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND. ALL MATERIALS SHALL HAVE A MINIMUM GUARANTEE OF ONE YEAR AGAINST MATERIAL DEFECTS OR DEFECTIVE WORKMANSHIP. ALL MATERIALS SHALL BE OF THE BRANDS AND TYPES NOTED ON THE DRAWINGS OR AS SPECIFIED HEREIN, OR APPROVED EQUAL. THE CONTRACTOR MUST FIRST OBTAIN APPROVAL FROM THE IRRIGATION DESIGNER FOR AN APPROVED EQUAL BEFORE INSTALLING SUCH MATERIALS IN THE FIELD. OR THE CONTRACTOR MAY BE REQUIRED TO REPLACE SUCH MATERIALS AT HIS OWN COST.	
B. BACKFLOW PREVENTION DEVICES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS. INSTALL BACKFLOW PREVENTION UNITS IN ACCORDANCE WITH IRRIGATION CODES AND CONSTRUCTION DETAILS AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.	
C. PIPING	
1. PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION:	
a. SCHEDULE 40 PVC FOR ALL PIPE 1-1/2" OR LESS	
b. CLASS 315 PVC FOR ALL PIPE 2" TO 12"	
c. CLASS 200 PVC, GASKETED, FOR ALL PIPE 3" AND LARGER	
2. SLEEVING AND NON-PRESSURE LATERAL LINES (DOWNSTREAM FROM VALVES): CLASS 200 PVC	
3. FITTINGS: SCH. 40 PVC, EXCEPT AS NOTED OTHERWISE.	
D. VALVES AND DRIP VALVE ASSEMBLIES: TYPE AND SIZE AS NOTED ON PLANS. EACH VALVE SHALL BEAR A PRE-MANUFACTURED, NUMBERED WATERPROOF TAG BEARING A NUMBER CORRESPONDING TO ITS VALVE SEQUENCE OF OPERATION ON THE CONTROLLER. THE OPERATION SEQUENCE SHALL MATCH THAT AS SHOWN ON THE PLANS.	
E. QUICK COUPLERS, BALL VALVES, AND GATE VALVES: TYPE AND SIZE PER PLANS.	
F. VALVE BOXES: TYPE AND SIZE AS NOTED ON DETAILS. ALL VALVE BOXES SHALL BE LOCKING BOLT-DOWN TYPE, FURNISHED WITH LIDS AND BOLTS. BOXES SHL BE OF A SIZE TO CONTAIN THE ENTIRE VALVE AND/OR VALVE ASSEMBLY. THE VALVE BOX LID SHALL HAVE THE VALVE STATION NUMBER HEAT-BRANDED INTO THE LID WITH 2" HIGH LETTERS.	
G. FIXED SPRAY HEADS AND ROTORS: PLASTIC BODY POP-UP, WITH A REMOVABLE PLASTIC SPRAY NOZZLE. EXACT TYPE, MODEL, AND NOZZLE SHALL BE AS INDICATED ON PLANS.	
H. INTEGRAL EMITTER DRIP TUBING: TUBING MODEL AND FLOW RATE AS NOTED ON PLANS, WITH INTEGRAL EMITTERS WELDED TO THE INSIDE WALL OF THE TUBING AS AN INTEGRAL PART OF THE TUBING ASSEMBLY.	
I. AUTOMATIC CONTROLLER: TYPE AND MODEL PER PLANS. PROVIDE VANDAL-PROOF ENCLOSURE FOR ALL EXTERIOR INSTALLATIONS. PROVIDE LINE-VOLTAGE DISCONNECT SWITCH WITH GROUND FAULT PROTECTION.	
J. 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR IRRIGATION WIRE. EACH CONTROLLER SHALL HAVE A DIFFERENT COLOR STATION AND COMMON WIRE.	
1. STATION WIRE - ANY COLOR EXCEPT WHITE OR BLUE	
2. COMMON WIRE - WHITE	
3. EXTRA COMMON WIRES - BLUE	
K. WIRE SPLICES SHALL BE ENCASED IN A WATERPROOF COMPOUND OR GEL. ALL FIELD SPLICES SHALL BE LOCATED IN A 6 INCH ROUND VALVE BOX.	
L. RAIN SENSOR: TYPE AND MODEL PER PLANS.	
METHODS	
A. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST. ENSURE FIELD COORDINATION IS MADE EARLY ON IN THE CONSTRUCTION PHASE SO PLACEMENT LOCATION IS CORRECT.	
B. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.	
C. THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADES OR DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE IRRIGATION DESIGNER. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND NECESSARY COSTS.	
D. THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES AND PERMITS ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.	
E. AT LEAST SEVEN DAYS BEFORE BEGINNING WORK, CONFIRM THE STATIC WATER PRESSURE IS AT LEAST 65 PSI. IF STATIC WATER PRESSURE IS OUTSIDE OF THE STATED RANGE, DO NOT PROCEED WITHOUT FIRST NOTIFYING THE IRRIGATION DESIGNER AND OWNER IN WRITING, AND OBTAINING SUBSEQUENT DIRECTION FOR CORRECTIONAL MEASURES. SHOULD THE IRRIGATION CONTRACTOR CHOOSE TO BEGIN THE INSTALLATION WITHOUT SUCH NOTIFICATION, THE IRRIGATION CONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR ALL COSTS INCURRED TO ENSURE THE SYSTEM IS WORKING PROPERLY. NO CHANGE ORDERS WILL BE AUTHORIZED IN SUCH CIRCUMSTANCES.	
F. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, STRUCTURES AND UTILITIES.	
G. COORDINATE WITH THE OWNER THE PROPOSED LOCATIONS OF THE AUTOMATIC CONTROLLER AND ANY REQUIRED SLEEVES THROUGH THE BUILDING FOR CONTROL WIRES.	
H. TRENCING NEAR EXISTING TREES	
1. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).	
2. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.	
3. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.	
4. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.	

L. BACKFILL	
1. ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER. BACKFILL MATERIAL SHALL BE FREE FROM RUBBISH, ROCK LARGER THAN 1", LARGE STONES, BRUSH, SOIL, FROZEN MATERIAL OR OTHER UNSUITABLE SUBSTANCES THAT MAY DAMAGE PIPE DURING THE BACKFILLING OPERATIONS. SEPARATE OUT ROCKS LARGER THAN 1 INCH IN ANY DIRECTION FROM EXCAVATED MATERIAL, AND REMOVE FROM AREAS TO RECEIVE LANDSCAPING. COVER FOR BOTH TOP AND SIDES OF PIPE SHALL BE A MINIMUM OF 2 INCHES OF ROCK-FREE SOIL, SAND, OR OTHER APPROVED MATERIAL.	
2. IN THE EVENT THAT THE MATERIAL FROM THE EXCAVATION OR TRENCING IS FOUND TO BE UNSUITABLE FOR USE IN BACKFILL, IT SHALL BE REMOVED FROM THE SITE AND PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN PURCHASE AND AND FURNISH SUITABLE BACKFILL MATERIAL CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS FREE OF DEBRIS.	
J. BACKFLOW PREVENTER INSTALLATION: CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER SOURCES AT LOCATION SHOWN ON PLANS AND AS APPROVED BY THE OWNER, AND SHALL MAKE ANY MINOR CHANGES IN LOCATION AS MAY BE NECESSARY DUE TO ACTUAL SITE CONDITIONS. BACKFLOW PREVENTER HEIGHT SHALL BE AS PER LOCAL CODES AND IRRIGATION DETAILS. INSTALL A BRASS BALL VALVE IMMEDIATELY UPSTREAM OF THE BACKFLOW DEVICE TO SERVE AS AN ISOLATION VALVE. TO EVERY EXTENT POSSIBLE, INSTALL BACKFLOW PREVENTER ION A LOCATION SCREENED FROM PUBLIC VIEW (SUCH AS BEHIND A SHRUB ROW).	
K. PIPING	
1. PIPE SIZE SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS FOR LARGER SIZES MAY BE APPROVED.	
2. MAINLINE PIPE AND WIRES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18-24 INCHES (24" FOR MAINLINE 3"-5", AND 30" FOR MAINLINE 6" AND GREATER). LATERAL PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 12 INCHES. CONFIRM BURIAL DEPTH WITH LOCAL CITY CODE PRIOR TO CONSTRUCTION.	
3. ASSEMBLE ALL THREADED FITTINGS WITH TEFLON TAPE, WHICH SHALL BE APPLIED TO MALE THREADS ONLY.	
4. ALL SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH APPROVED SOLVENT-WELD PRIMER AND GLUE.	
5. PIPE SHALL BE INSTALLED WITH A MINIMUM OF 4" HORIZONTAL CLEARANCE FROM ANY OTHER PIPE AND 2" VERTICAL CLEARANCE FROM ANY PIPES THAT CROSS OVER OR UNDER.	
L. VALVES	
1. VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE IRRIGATION DETAILS.	
2. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE GRADE, WITH CLEAN PEA GRAVEL LOCATED BELOW THE VALVE AS NOTED ON THE DETAILS. LOCATE BOXES WITHIN 12 TO 24" OF SIDEWALKS OR LANDSCAPE EDGES, WITH TOPS OF BOXES 1" ABOVE FINISH GRADE IN TURF, AND 3" ABOVE FINISH GRADE IN SHRUB AREAS (TO AVOID BEING COVERED BY MULCH).	
3. EACH VALVE BOX COVER SHALL BE HEAT-BRANDED WITH THE CONTROLLER STATION NUMBER.	
4. DO NOT INSTALL MORE THAN TWO VALVES IN A JUMBO BOX.	
M. DRIP IRRIGATION EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE IRRIGATION DETAILS.	
1. SUBSURFACE DRIP LINES SHALL BE BURIED NO MORE THAN 2" BELOW FINISH GRADE, AND SECURED IN PLACE WITH WIRE STAPLES AT A MAXIMUM OF 24"-36" ON CENTER.	
N. SPRAY, ROTATOR, AND BUBBLER HEADS	
1. ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED, FLAGGED AND/OR OTHERWISE CLEARLY MARKED ON THE GROUND PRIOR TO INSTALLATION. SPRINKLER HEADS AND SPRAY SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.	
2. ALL SPRAY HEADS SHALL BE CONNECTED WITH A 1/2 INCH MINIMUM LENGTH OF 1/2 INCH FLEX PVC. THE FLEX PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD-ON #795 SOLVENT AND #P-70 PRIMER. ALL ROTORS SHALL BE CONNECTED TO LATERAL LINES WITH PRE-MANUFACTURED SWING JOINTS.	
3. ALL ROTOR, SPRAY AND BUBBLER HEADS SHALL BE SET PERPENDICULAR AND FLUSH TO FINISH GRADE AND WITH A CLEARANCE OF FOUR INCHES (MINIMUM) FROM THE EDGE OF ANY BUILDINGS, WALLS, BOULDER, AND HARDSCAPE, WITH A CLEARANCE OF TWELVE INCHES (MINIMUM) FROM BUILDINGS, UNLESS OTHERWISE SPECIFIED.	
4. ALL ROTOR, SPRAY AND BUBBLER HEADS AND VALVES SHALL BE FLUSHED AND ADJUSTED FOR OPTIMUM COVERAGE WITH MINIMUM OVERSPRAY ON WALKS, STREETS, WALLS, ETC.	
5. LATERAL PIPE TO TREE STREAM BUBBLER HEADS IS OMITTED FOR GRAPHIC CLARITY. CONNECT TREE BUBBLER HEADS TO VALVES AS SHOWN WITH CLASS 200 PVC PIPE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF 5 FEET PER SECOND	
O. AUTOMATIC CONTROLLER	
1. INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER. INSTALL CONTROLLER WITH A BACKUP BATTERY AS RECOMMENDED BY THE MANUFACTURER.	
2. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V A.C. ELECTRICAL POWER TO CONTROLLER AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.	
3. ALL VALVE CONTROL WIRE SHALL BE AWG 14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL. NO SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS, THE CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3MS "DBY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS, AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION.	
4. PROVIDE #10 COMMON WIRE, DIRECT BURIAL, TO ALL REMOTE CONTROL VALVES.	
5. CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3MS "DBY-DIRECT BURIAL SPLICE KIT" (UNLESS OTHERWISE SPECIFIED).	
6. PROVIDE THREE ADDITIONAL IRRIGATION CONTROL WIRES ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO BACK OF IRRIGATION CONTROLLERS.	
P. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO ANY PAVING NOTES.	
Q. INSTALL THE RAIN SENSOR IN THE VICINITY OF THE CONTROLLER, AND COORDINATE LOCATION WITH THE OWNER. PROVIDE MINIMUM 5' CLEARANCE FROM OTHER OUTDOOR EQUIPMENT, FREE AND CLEAR OF ANY OTHER CANOPY OR OTHER OVERHEAD OBSTRUCTION, AND ABOVE THE HEIGHT OF THE SPRINKLER COVERAGE. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THE RAIN SENSOR IS PLACED IN A LOCATION WHERE IT CAN RECEIVE ADEQUATE RAINFALL WITHOUT BEING OBSTRUCTED, AND OTHER PLACED IN AN INADEQUATE LOCATION. IRRIGATION CONTRACTOR MAY BE REQUIRED TO RELOCATE IT AT NO ADDITIONAL COST TO THE OWNER.	
R. NO PUMP ON SITE.	
S. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.	
T. QUALITY CONTROL	
1. PERFORM COVERAGE TESTS AFTER IRRIGATION SYSTEM IS COMPLETED, BUT PRIOR TO ANY PLANTING AND PERFORM TESTING IN THE PRESENCE OF THE IRRIGATION DESIGNER AND THE CONSTRUCTION MANAGER.	
2. TEST SYSTEM TO ASSURE THAT ALL LAWN AND PLANTING AREAS ARE WATERED COMPLETELY AND UNIFORMLY.	
3. MAKE ALL NECESSARY ADJUSTMENTS TO PROVIDE COMPLETE COVERAGE, INCLUDING REALIGNMENT OF HEADS AND REPLACEMENT OF NOZZLES.	
U. CLEAN UP	
1. DURING IRRIGATION EXCAVATION AND INSTALLATION, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.	
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.	
V. INSPECTION AND ACCEPTANCE	
1. UPON COMPLETION OF THE WORK, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE IRRIGATION CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.	
2. WHEN THE INSPECTED WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.	
3. THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.	
4. CONTROLLER CHART: THE IRRIGATION CONTRACTOR SHALL PROVIDE A 11" X 17" COLOR-CODED, LAMINATED COPY OF THE IRRIGATION LAYOUT AND PLACE IT IN THE CONTROLLER'S COVER. THE CONTROLLER CHART SHALL CLEARLY DELINEATE THE AREAS COVERED BY EACH VALVE, USING A SEPARATE COLOR FOR EACH ZONE.	
5. TURN THE FOLLOWING ITEMS IN TO THE OWNER UPON COMPLETION OF THE INSTALLATION:	
a. QUICK COUPLER KEYS (2)	
b. CONTROLLER MANUAL (1)	
c. CONTROLLER KEYS (2)	
d. A MINIMUM OF (2) COPIES OF RECORD DRAWINGS. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.	
W. REFER TO THE PLANTING SPECIFICATIONS FOR ADDITIONAL CONDITIONS OF FINAL ACCEPTANCE AND START OF THE MAINTENANCE PERIOD.	
X. WARRANTY	
1. THE IRRIGATION SYSTEM SUPPLIED AND INSTALLED SHALL BE WARRANTED (LABOR AND MATERIALS) TO REMAIN OPERATIONAL FOR A PERIOD OF 12 MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE CONTRACTOR SHALL ALSO REPAIR ANY SETTLEMENT OF THE IRRIGATION TRENCHES.	
2. BY THE END OF THE WARRANTY PERIOD, ANY IRRIGATION PART THAT IS EITHER NON-OPERATIONAL OR THAT IS OPERATING BELOW STANDARDS AS DETERMINED BY THE OWNER, SHALL BE REMOVED FROM THE SITE AND SHALL BE REPLACED. REPLACEMENTS SHALL BE OF THE SAME KIND AND AS SPECIFIED IN THE IRRIGATION LEGEND, AND SHALL BE INSTALLED AS ORIGINALLY SPECIFIED.	
3. IRRIGATION PARTS DAMAGED OR IMPAIRED DUE TO ACTS OF GOD, VANDALISM, AND/OR THE OWNER'S IMPROPER MAINTENANCE SHALL NOT BE COVERED BY THIS WARRANTY.	
Y. SHOULD THE PERMITTING JURISDICTION REQUIRE AN IRRIGATION AUDIT, THE IRRIGATION CONTRACTOR SHALL RETAIN THE SERVICES OF A THIRD-PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR, AT NO ADDITIONAL COST TO THE OWNER.	

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL
●	RAIN BIRD R-VAN14 1806-SAM-P45, TURF ROTARY, 8'-14" 45'-270" AND 360" HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR, 1/2" NPT FEMALE THREADED INLET.
⊙	RAIN BIRD R-VAN18 1806-SAM-P45, TURF ROTARY, 13'-18" 45'-270" AND 360" HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR, 1/2" NPT FEMALE THREADED INLET.
⊙	RAIN BIRD R-VAN24 1806-SAM-P45, TURF ROTARY, 17'-24" 45'-270" AND 360" HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR, 1/2" NPT FEMALE THREADED INLET.
☑	RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH ADAPTER AND RAINBIRD #1402 SERIES BUBBLER NOZZLES. (TWO PER TREE) SEE INSTALLATION NOTE #N-5 REGARDING TREE BUBBLER LATERAL PIPE
⊕	RAINBIRD XCZ-100-PRB-COM / 150-PRB-COM SERIES AUTOMATIC DRIP VALVE ASSEMBLY WITH 40 PSI PRESSURE REGULATOR XCZ-100-PRB-COM - 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER, 0.3GPM TO 20GPM.
⊕	RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE SEE INSTALLATION NOTE #N-5 REGARDING TREE BUBBLER LATERAL PIPE
⊕	RAINBIRD PEB SERIES 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
⊕	AREA TO RECEIVE DRIPLINE RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN SHRUB BED INSTALLED AT 2" DEPTH
⊕	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.
⊕	ZURN / WILKINS 375XLB SERIES REDUCED PRESSURE TYPE BACKFLOW PREVENTOR INSTALLED PER CITY CODE WITH HEATED / INSULATED ALUMINUM ENCLOSURE AND SAME SIZE BRONZE BALL VALVE INSTALLED ON THE UP-STREAM SIDE. G.C. TO COORDINATE POWER TO BACKFLOW ENCLOSURE LOCATION PRIOR TO CONSTRUCTION
⊕	BLOW OFF VALVE TO BE INSTALLED BETWEEN THE METER AND BACKFLOW DEVICE FOR SYSTEM WINTERIZATION
⊕	LASCO "V" SERIES SCH. 80 PVC TRUE UNION BALL VALVE, MAINLINE SIZE
⊕	IRRIGATION WATER METER AND TAP (BY OTHERS) SIZE AS NOTED ON THE PLAN
⊕	RAINBIRD 33DLRC QUICK COUPLING VALVE AND 3/4" PVC BALL VALVE
⊕	RAINBIRD ESP12LXMEF2P SERIES AUTOMATIC WALL MOUNT CONTROLLER
⊕	RAINBIRD WR2-RFC RAIN / FREEZE SENSOR - CONFIRM SENSOR LOCATION WITH OWNERS REPRESENTATIVE
⊕	1" MASTER VALVE MODEL # 100-EFB-CP WITH RAINBIRD FLOW SENSOR MODEL #FS100P SERIES
— — — — —	IRRIGATION LATERAL LINE: CLASS 200 PVC
— — — — —	IRRIGATION MAINLINE: SCHEDULE 40 PVC
== == == == ==	IRRIGATION SLEEVES, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED

VALVE KEY



IRRIGATION NOTE:

- L.I.C. SHALL SELECT R-VAN SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE, ADJUSTED FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.
- ALL PIPE TO BE SIZED SUCH THAT FLOWS WILL NOT EXCEED VELOCITY OF 5 FPS

WATER CONSERVATION

IRRIGATION WATER CONSERVATION SHALL BE ACCOMPLISHED THROUGH THE FOLLOWING EFFORTS:

- SEPARATE TURF / SHRUB ZONES FOR SCHEDULING ADJUSTMENT
- NO OVERSPRAY ONTO PAVEMENT PERMITTED
- USE OF RAIN SENSOR SHUT OFF OVER-RIDE DEVICE

LATERAL PIPE SIZE CHART

LATERAL PIPE SHALL BE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF FIVE FEET PER SECOND ACCORDING TO THE FOLLOWING CHART:

FLOW IN GPM UP TO 5 GPM 6 - 10 GPM 11 - 15 GPM 16 - 28 GPM 29 - 35 GPM 36 - 54 GPM 55 - 81 GPM 82 - 120 GPM	LATERAL PIPE SIZE 3/4" CLASS 200 3/4" CLASS 200 1" CLASS 200 1 1/4" CLASS 200 1 1/2" CLASS 200 2" CLASS 200 2 1/2" CLASS 200 3" CLASS 200
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CRITICAL ANALYSIS

P.O.C. NUMBER: 01
Water Source Information: Irrigation Meter, By Others

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 30 gpm

PRESSURE AVAILABLE
Static Pressure at POC (est.): 68.00 psi
Elevation Change: NA
Service Line Size: NA
Length of Service Line: NA
Pressure Available: 65.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 17.0 gpm
Flow Available at POC: 30.0 gpm
Residual Flow Available: 13.0 gpm

Critical Station: 9
Head Pressure Required: 35.0 psi
Lateral Loss: 3.5 psi
Loss through Valve: 2.0 psi
Pressure Req. at Critical Station: 40.5 psi
Loss for Main Line: 1.9 psi
Loss for Fittings 20% (Main Line): 0.38 psi
Loss for Master Valve: 1.9 psi
Loss for Backflow: 11.0 psi
Loss for Water Meter: 1.6 psi
Critical Station Pressure at POC: 57.28 psi
Pressure Available: 65.00 psi
Residual Pressure Available: 7.72 psi



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

PROGRESSIVE COMPANIES



CHRISTIAN BROTHERS AUTOMOTIVE
AUTOMOTIVE SERVICE CENTER

COA ARCHITECT COA ENGINEER

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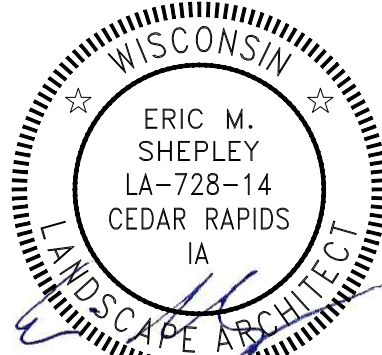
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ISSUANCE

PROJECT NUMBER
70050026
PROJECT MANAGER
J. Marion
PROFESSIONAL

DRAWN BY

CHECKED BY



IRRIGATION SPECIFICATIONS

LI-3

11/20/2025

- NOTES:
- CONTRACTOR TO VERIFY QUANTITY OF EXISTING PLANTINGS - REPLACE ANY DEAD TREES AND ADD ADDITIONAL PLANTINGS TO MEET REQUIRED QUANTITY.
 - ANY TREES DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	MIN. SIZE
TREES						
	AR	6	Acer rubrum 'Red Sunset'	Red Sunset Maple	B&B	2.5" Cal.
	PA	6	Picea abies	Norway Spruce	B&B	6'-8' ht.
	TG	9	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	B&B	2.5" Cal.
SHRUBS / PERENNIALS / ORNAMENTAL GRASSES						
	AL	25	Aronia melanocarpa 'UCONNAM165'	Low Scape Mound® Black Chokeberry	Cont.	3 gal., full
	IG	41	Ilex glabra 'Shamrock'	Inkberry	Cont.	3 gal., 15" ht.
	IM	14	Iris pumila	Dwarf Iris	Cont.	1 gal., full
	JW	9	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	Cont.	3 gal., 18" spd.
	PL	11	Physocarpus opulifolius 'Little Devil'™	Dwarf Ninebark	Cont.	3 gal., 15" ht.
GROUND COVERS						
	TURF		Poa pratensis	Kentucky Bluegrass	sod	
SYMBOL	CODE		BOTANICAL NAME	COMMON NAME	NOTES	

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ± 0.1 OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALL OUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALL OUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

LANDSCAPE CALCULATIONS

JURISDICTION:	VILLAGE OF PEWAUKEE, WI
ZONING:	B-1 (COMMUNITY BUSINESS)
SITE AREA:	56,229 SF
LANDSCAPE AREA:	34,212 SF
STREET TREES	
TREES REQUIRED:	9 TREES (1 PER 40 LF)
TREES PROVIDED:	9 TREES
SITE LANDSCAPE	
TREES REQUIRED:	34 TREES (1 PER 1,000 SF)
TREES PROVIDED:	34 TREES - 13 EXISTING, 21 PROPOSED
SHRUBS REQUIRED:	68 SHRUBS (2 PER 1,000 SF)
SHRUBS PROVIDED:	86 SHRUBS
PARKING LOT INTERIOR LANDSCAPE	
LANDSCAPE AREA REQ'D:	1,399 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	2,136 SF
PARKING LOT SCREENING FROM RIGHT-OF-WAY	
REQUIRED:	CONTINUOUS HEDGE OR BERM
PROVIDED:	CONTINUOUS HEDGE

CHRISTIAN BROTHERS AUTOMOTIVE

AUTOMOTIVE SERVICE CENTER

COA ARCHITECT

COA ENGINEER

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ISSUANCE

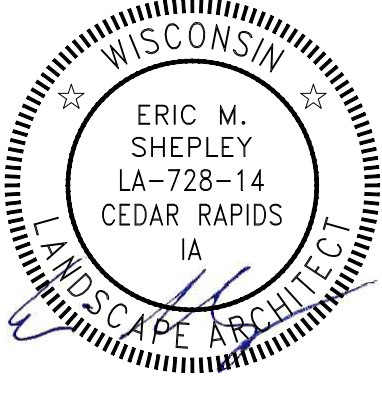
PROJECT NUMBER
70050028
PROJECT MANAGER
J. Marion
PROFESSIONAL

DRAWN BY

CHECKED BY

LANDSCAPE
PLANTING

LP-1



11/20/2025



Scale 1" = 30'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

GENERAL

A. QUA

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
3. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE PLANTS.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. PLANTS NURSEY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014 PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE WITHIN 50 MILES OF THE PROJECT SITE.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, UNDESIRABLE, OR DETERMINED TO BE DEFECTIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS EXPOSED OR REMOVED.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. FOR MULTITRUNK TREES, THE CALIPER SHALL BE MEASURED AT THE THINNEST OVERALL BRANCH. THE MEASURED FIVE (5) INCH ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1" TO EACH Pallet OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE CERTIFIED SEEDS/SEEDS/PREFORMED SEED MIX, APPLIED AT THE RATE OF 7 LB/1000 SF, PLUS 10% OVERAGE.
- E. SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSKA'S RULES FOR TESTING SEEDS FOR PURITY AND GERMINATION TOLERANCES.
- F. DELIVER SEED IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFICATED ANALYSIS, NAME, AND ADDRESS OF PRODUCER. STORE IN A DRY, COOL, DUST-FREE LOCATION.
- G. TOPSOIL:
1. TOPSOIL FOR LANDSCAPE WORK SHALL BE A FERTILE, FRAGILE, SANDY LOAM TO SILT LOAM SURFACE SOIL CONFORMING TO USDA TEXTURAL CLASSIFICATION WITHOUT ADMIXTURE OF SUBSOIL OR FILL OF STONES, STUMPS, ROCKS, TRASH, DEBRIS, AND OTHER MATERIALS DELETTERIAL TO PLANT GROWTH.
- a. TOPSOIL FOR LAWNS SHALL BE A LOAM TO SANDY LOAM, 6-INCH DEPTH.
- b. TOPSOIL FOR PLANTINGS AND BEDS SHALL BE A LOAM TO SANDY LOAM, AMENDED PER THE SOILS REPORT RECOMMENDATIONS.
- D. PLANT BED MIX FOR SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES: MINIMUM 12-INCH-DEEP SOIL, MAX. A THOROUGHLY BLENDED MIXTURE OF 7 PARTS TOPSOIL, 2 PARTS SAND, AND 1 PART COMPOST.
- E. COMPOST: COMPOST SHALL BE A 100% VERMICOMPOSTED-FRESH ORGANIC MATERIAL, pH RANGE OF 5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/ML; NOT EXCEEDING 0.5 PERCENT IONIC CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN SOIL REPORT (SEE SOIL AGENT REPORT FOR DETAILS).
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETTERIAL MATERIALS AND SUITABLE AS TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
1. STAKES: 1/2 LONG GREEN PINE, T-POSTS
2. GUY AND TIE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
4. MULCH: PRE-EMERGENT HERBICIDES SHALL BE APPLIED TO THE SOIL SURFACE TO PREVENT WEEDS FROM GROWING THROUGH THE TOP OF THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S Labeled RATES.
- K. MAINTENANCE EDGE AGGREGATE: ANGULAR TO SUB-ANGULAR BASALT, 3/4-INCH DIAMETER, WASHED, OR APPROVED EQUIV.
- L. PERMEABLE SYNTHETIC, NONWOVEN POLYESTER FIBER, WEIGHING 2.24 TO 4.0 OUNCES PER SQUARE YARD WITH A MINIMUM GRAB TENSILE STRENGTH OF 35 POUNDS AND PERMEABILITY OF 0.03 CM/SEC.

METHODS

A. SOIL PREPARATION

1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.0' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECTS LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE TOP OF FINISH GRADE AND 12" BELOW. IF NO SAMPLES ARE SUBMITTED TO THE LAB, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
3. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER, AVAILABLE NITROGEN, AVAILABLE PHOSPHORUS, AVAILABLE POTASSIUM, AVAILABLE SULFUR, AND NATIVE SEEDS.
4. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
5. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE FERTILIZATION AND AMENDMENT FOR TURF AREAS, PLANTING BEDS, PLANTING AREAS, VERIC PLANTS, TREES, AND NATIVE SEEDS, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZATION PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
6. THE CONTRACTOR SHALL SUBMIT THE SOIL AMENDMENT PROGRAM, FERTILIZER, AND SOIL REPORT RECOMMENDATIONS, ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
7. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
8. TREES: INCORPORATE THE FOLLOWING AMOUNTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
- i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
- ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
- iii. 1/2 DAY BUSBY OR EQUIV. - USE MANUFACTURER'S RECOMMENDED RATE
- iv. IRON SULPHATE - 2 LBS. PER CU. YD.
9. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF CURB) AS INDICATED ON THE GRADING PLAN.
10. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.0' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
11. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN SLOPES, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELEVATIONS.
12. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE REPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
13. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 9" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER WALK DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS.
14. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT THE ADJACENT WALK.
15. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
16. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.
- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STRIP FOR SCALE, FLOPHOS OR SAMPLES OF ANY REQUIRED MULCHES, AND TEST RESULTS FOR SOILS, AND COMPARISONS BETWEEN THE TESTING LABORATORY INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS (AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND MULCH FABRIC.
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY IDENTIFY THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCING NEAR EXISTING TREES
- a. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HIGHT (4'5" ABOVE THE AVERAGE GRADE AT THE TRUNK).
- b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
- c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE PIPE, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN 24 HOURS OF EXCAVATION.
- d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SOAK THE TREE IN WATER FOR ONE HOUR PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE GIRDLES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COLOR TO THE EXISTING TOPSOIL.
6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRED STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE ARCHITECT'S DISCRETION. IF THE CONTRACTOR OBSERVES ANY DAMAGE TO THE TREE OR THE STAKES, THE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
- | | |
|--------------------------|--|
| 1. 12" TREES | TWO STAKES PER TREE |
| 2. 12"-4" TREES | THREE STAKES PER TREE |
| 3. TREES OVER 4" CALIPER | GUY AS NEEDED |
| 4. MULTI-TRUNK TREES | THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE. |
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH TO BE DETERMINED BY THE LANDSCAPE ARCHITECT).

E. SODDING

1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

F. MULCH

1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS.
- MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

G. CLEAN

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. LEGALLY DISPOSE ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

H. INSPECTION AND ACCEPTANCE

1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECT WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
2. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

I. LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK DONE ON THESE PLANS FOR 90 DAYS AFTER FINAL ACCEPTANCE OF ALL LAWN AREAS. LAWN MAINTENANCE SHALL INCLUDE WEEDING, MOWING, AND SITE VISITS FOR THE FOLLOWING ACTIONS: (AS APPROPRIATE) "PROPER PRUNING, TRIMMING, AND TRUNK TREATING OF TREES AND SHRUBS TO BE SEEN IN THE AREAS OF LAWNS; WEEDING; RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL; TREATING FOR INSECTS AND DISEASES; REPLACEMENT OF MULCH; REMOVAL OF LIMBS THAT REPAIRS TO BE MADE TO TREES AND SHRUBS; AND TRUNK TREATING OF TREES AND SHRUBS TO BE SEEN IN THE AREAS OF LAWNS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- THE FOLLOWING ARE THE UNDODD AREAS NOT COVERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER. THE ACTIVE PERIOD OF THE GROWING SEASON FOR THE UNDODD AREAS SHALL BE:
- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY), ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. THE LANDSCAPE SHALL BE CLEANER THAN FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCH BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL BE GRASSY AND MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWN.

J. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- K. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811
SERVICE AT LEAST 3 WORKING
DAYS PRIOR TO CONSTRUCTION
TO CONFIRM LOCATION OF
EXISTING UTILITIES. DIAL 811.



**CHRISTIAN BROTHERS AUTOMOTIVE
AUTOMOTIVE SERVICE CENTER**

COA ARCHITECT • • COA ENGINEER

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ISSUANCE

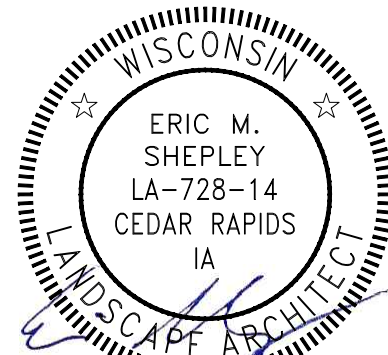
PROJECT NUMBER
70050026
PROJECT MANAGER
J. Manion
PROFESSIONAL

DRAWN BY

CHECKED BY _____

LANDSCAPE
SPECIFICATIONS

LP-2



11/20/2025



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811
SERVICE AT LEAST 3 WORKING
DAYS PRIOR TO CONSTRUCTION,
TO CONFIRM LOCATION OF
EXISTING UTILITIES. DIAL 811.

If this document is sealed and signed in a digital or electronic format and is received from someone other than the sealing professional identified in the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

ISSUANCE

PROJECT NUMBER
70050028
PROJECT MANAGER
J. Marion
PROFESSIONAL

DRAWN BY

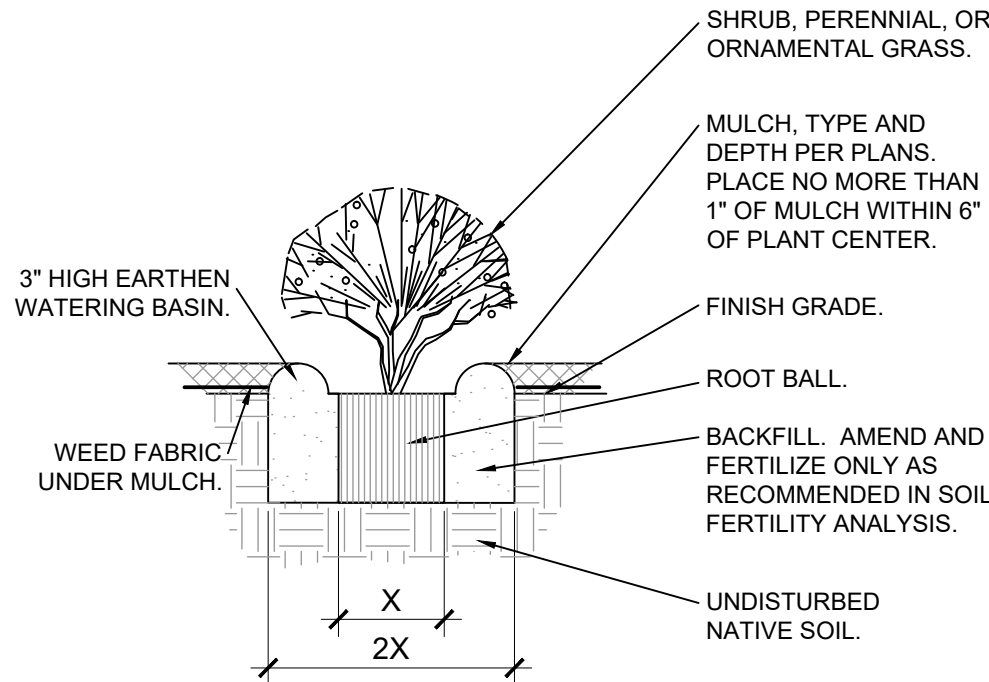
CHECKED BY

LANDSCAPE
DETAILS

LP-3

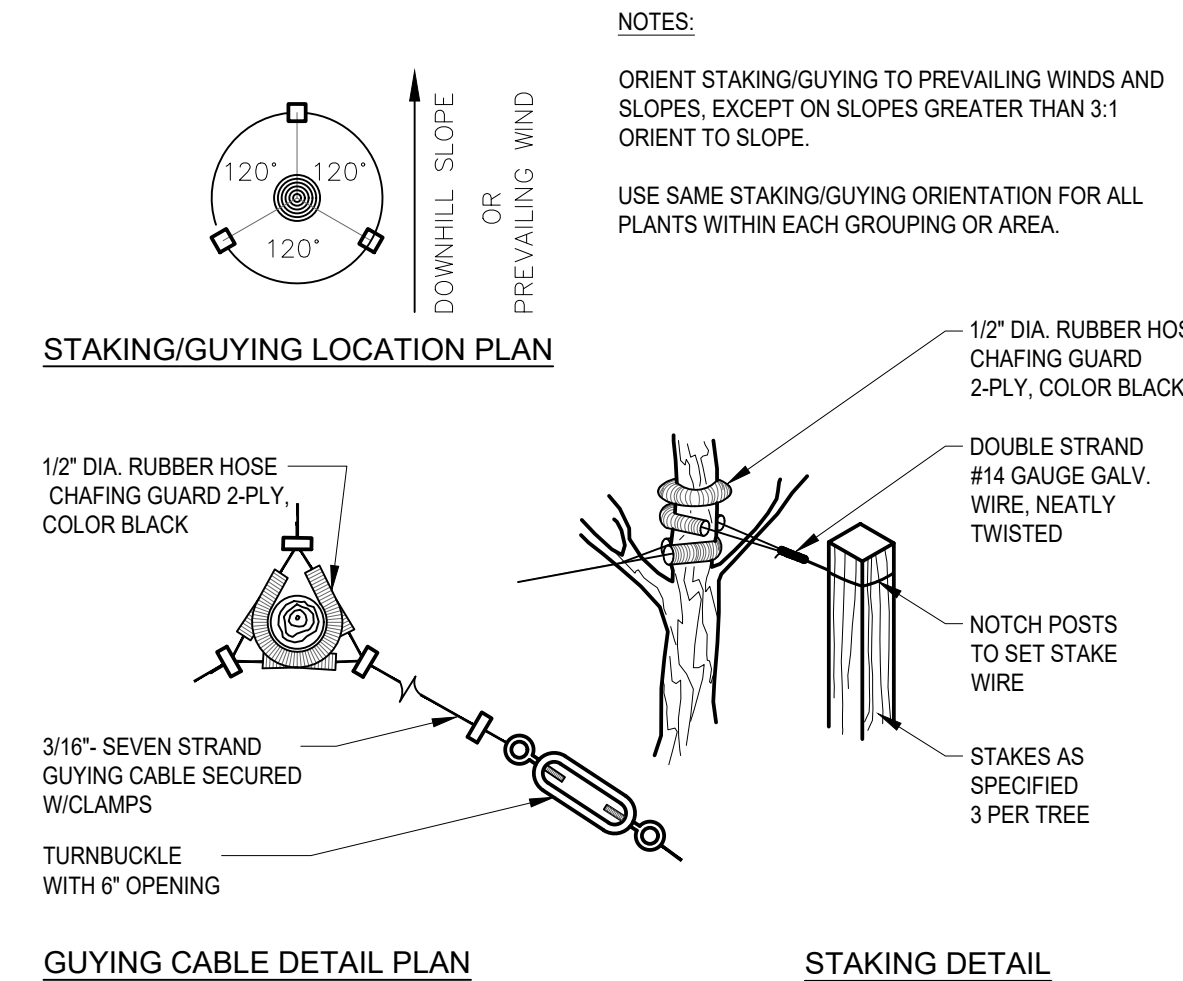


11/20/2025



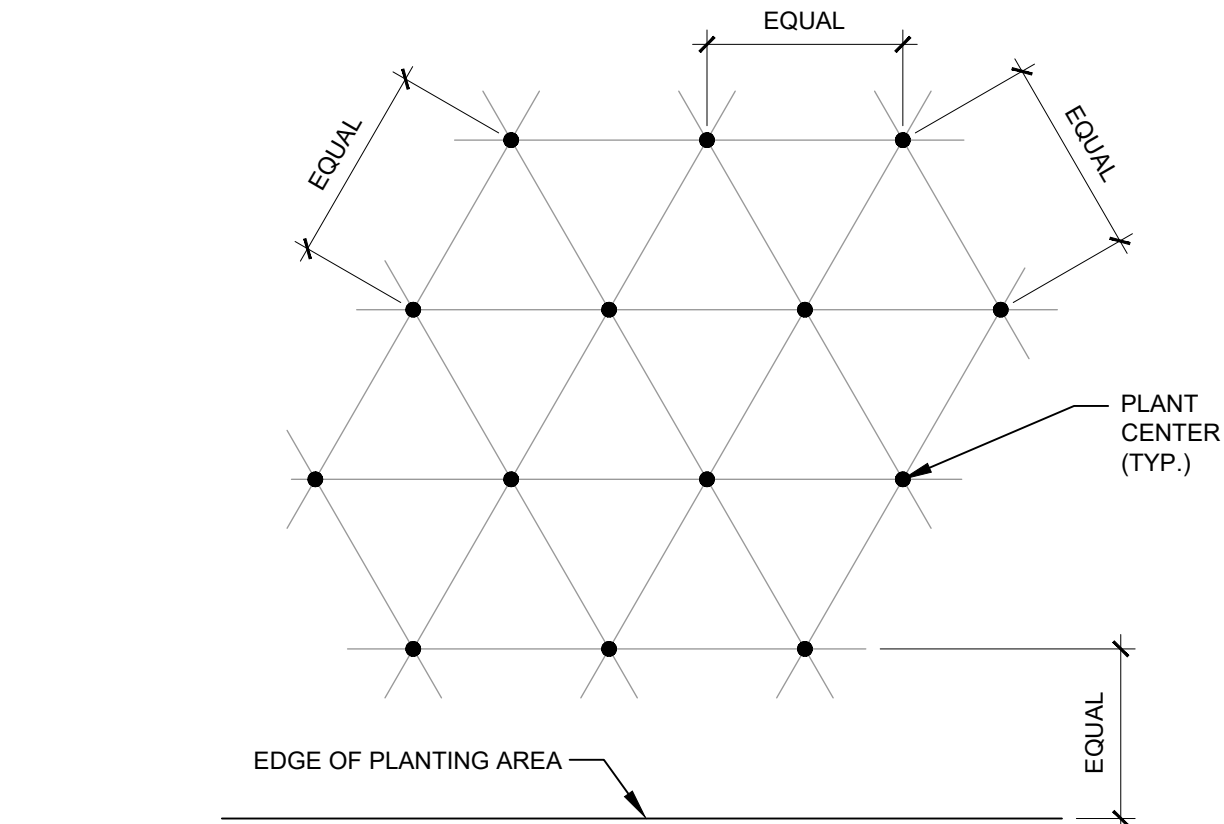
B SHRUB/GROUNDCOVER PLANTING

SCALE: NTS



C TREE STAKING AND GUYING

SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

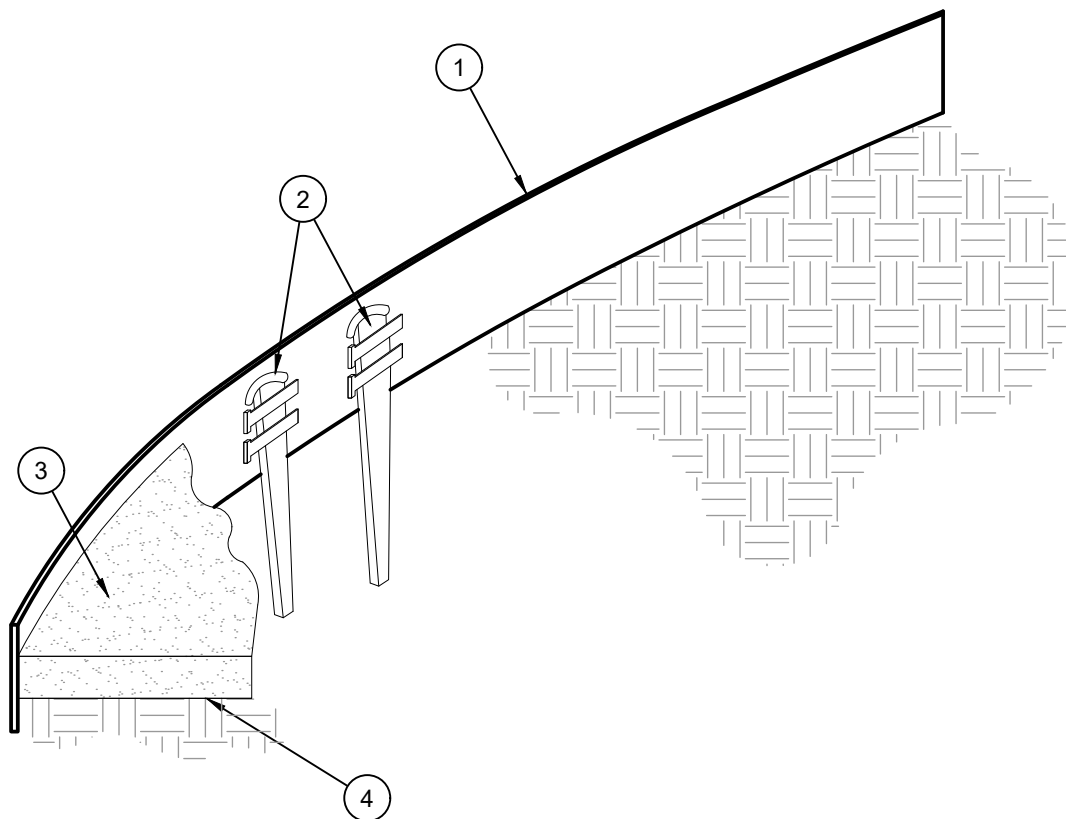
PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF/1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

D PLANT SPACING

SCALE: NTS

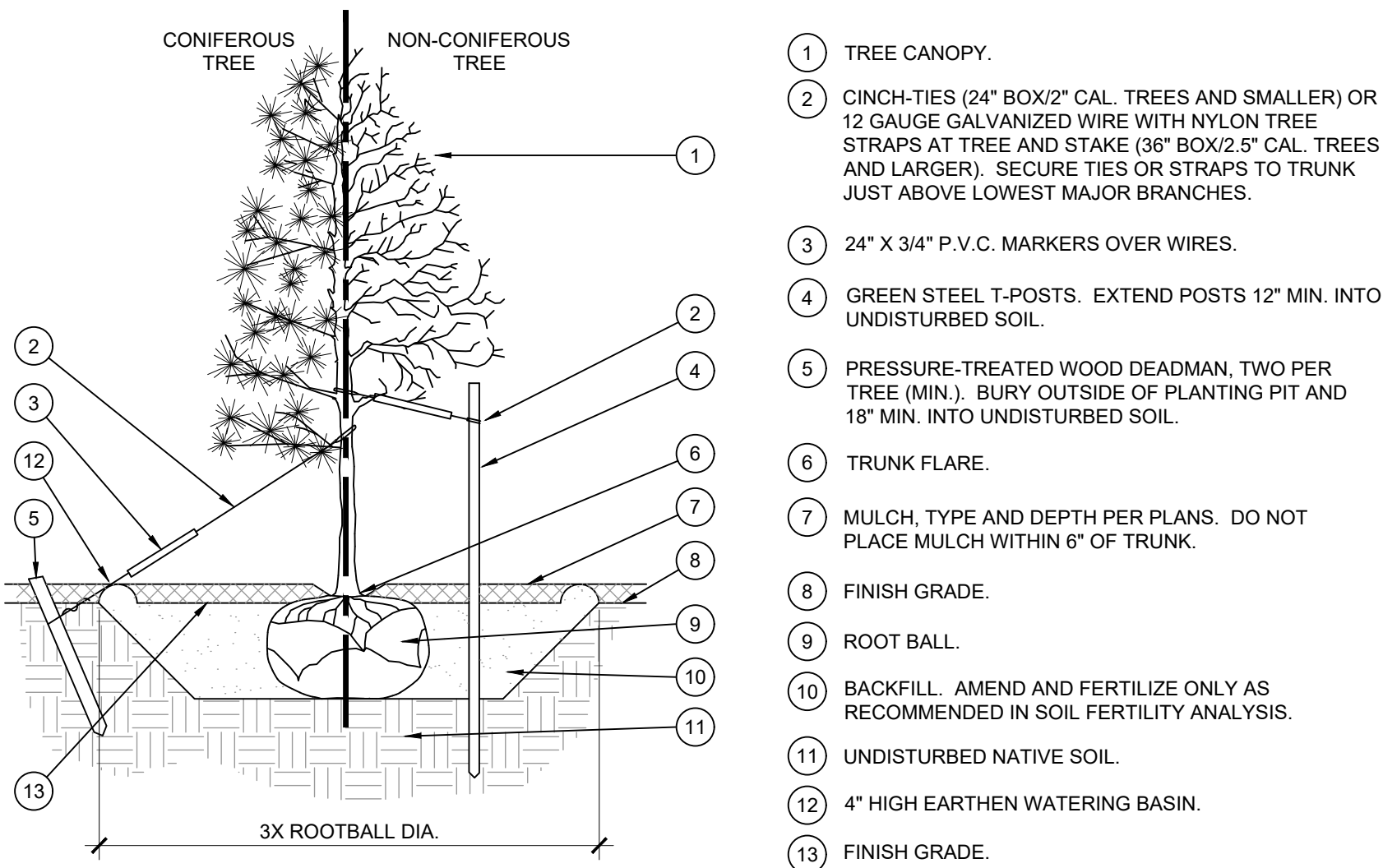


- 1) ROLLED-TOP STEEL EDGING PER PLANS.
- 2) TAPERED STEEL STAKES.
- 3) MULCH, TYPE AND DEPTH PER PLANS.
- 4) FINISH GRADE.

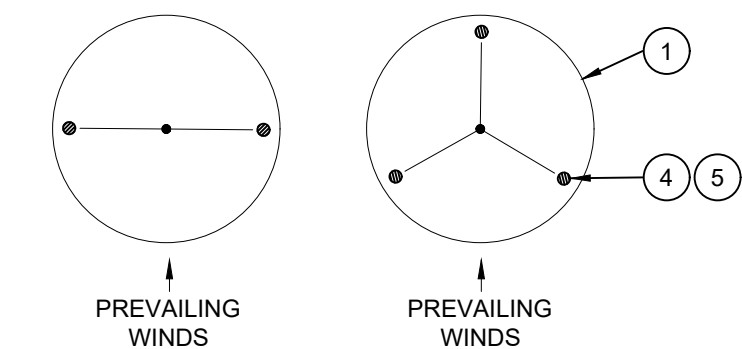
NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

G STEEL EDGING

SCALE: NOT TO SCALE

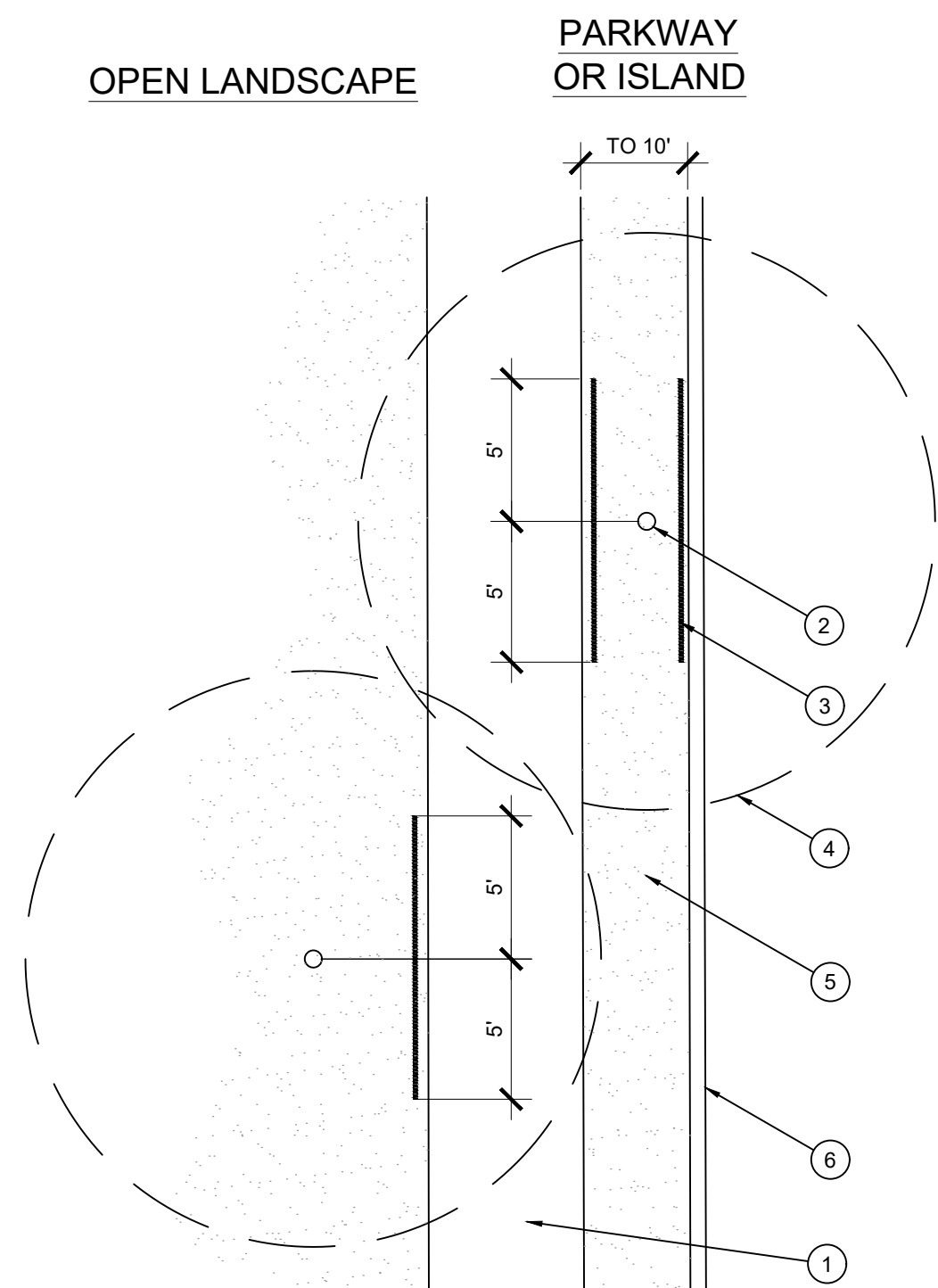


STAKING EXAMPLES (PLAN VIEW)



A TREE PLANTING

SCALE: NOT TO SCALE



E ROOT BARRIER - PLAN VIEW

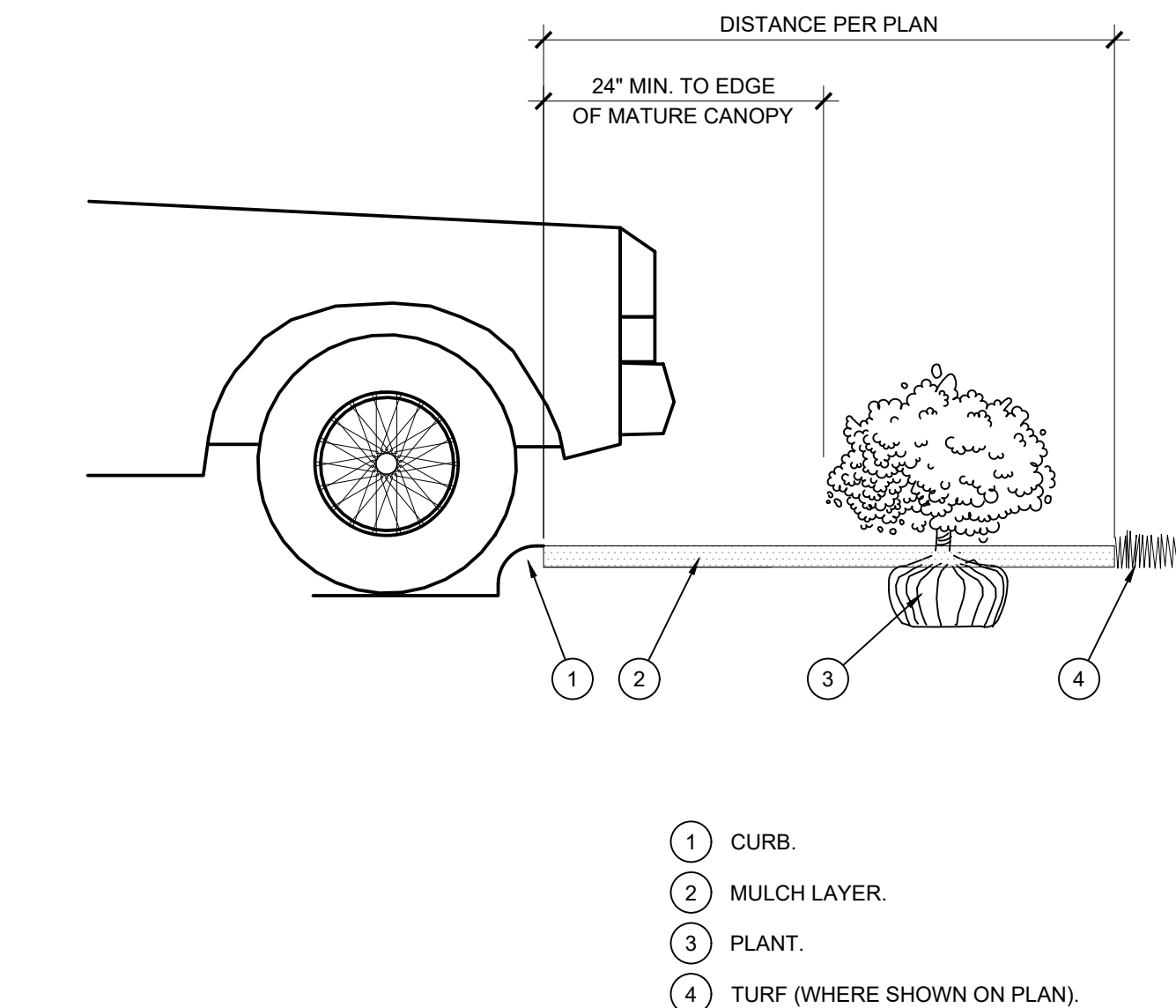
SCALE: NOT TO SCALE

- 1) TYPICAL WALKWAY OR PAVING
- 2) TREE TRUNK
- 3) LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 4) TREE CANOPY
- 5) TYPICAL PLANTING AREA
- 6) TYPICAL CURB AND GUTTER

NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

F PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



- 1) CURB.
- 2) MULCH LAYER.
- 3) PLANT.
- 4) TURF (WHERE SHOWN ON PLAN).

F PLANTING AT PARKING AREA

SCALE: NOT TO SCALE

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator & Mackenzie Quigley - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: July 29, 2026
MTG DATE: August 13, 2026
RE: 5b - Village of Pewaukee Conditional Use Grant for new Lift Station

BACKGROUND:

1. Petitioner: Village of Pewaukee
2. Property Owner: CPKC
3. Location/Address: North of 512 Kopmeier Drive
4. Tax Key Number: N/A
5. Area: N/A
6. Existing Zoning: R-5 Residential Detached District
7. Proposed Zoning: N/A
8. Future Land Use: N/A
9. Proposed Future Land Use: N/A

OVERVIEW:

The Village originally approved the request Conditional Use Grant on May 8, 2025. Section 40.154 (e) of the Villages zoning code states that a conditional use shall become null and void within 12 months if the use has not commenced or construction is underway. The Village has been diligently working with CPKC to finalize necessary documents and approvals to construct the project and is close to finalizing said approvals. Unfortunately, as that process has not yet been completed, the prior Conditional Use is no longer valid and the Village is seeking approval of a new Conditional Use. The Village is again, requesting approval of a Conditional Use Grant to construct a new lift station immediately north of Kopmeier Drive. The Village has an existing exposed lift station within CPKC's railroad right-of-way and is seeking to construct a new lift station adjacent to the old facility. Records indicate the existing lift station has been in place since at least the 1950's. The following report, is substantially similar to that which was issued as part of May 2025 request.

SUBMITTAL:

The enclosed submittal includes the Site Plan.

PLANNER COMMENTS:

1. **Conditional Use Grant.** The Village Code permits utility use by the issuance of a Conditional Use Grant in the R-5 Residential Detached District.
2. **Site Plan.** The site plan indicates construction of a 21'2" x 9'8" lift station building with the associated equipment housed inside. The proposed location is immediately east of the existing at grade lift station and is located within the railroad right-of-way.
3. **Zoning Requirements:** The proposed utility use is a Conditional use under the R-5 Residential Detached District.

4. Site Improvements:

- a. **Site:** No additional landscaping has been indicated as part of the development plan. The Village is in the process of obtaining an easement from CPKC for the subject area.
- b. **Design Requirements:** There are no applicable general design requirements for the proposed development.

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

CONDITIONAL USE REQUEST FOR A LIFT STATION

The Village of Pewaukee Plan Commission **Approves** the Conditional Use Request for a lift station on CPKC railroad right-of-way, subject to the following conditions:

1. Any conditions made by the Plan Commission at their meeting of August 13, 2026.
2. Full execution and recording of the Conditional Use Grant prior to beginning construction.
3. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
4. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
5. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses. Fire department approval following review to ensure any additional fire access requirements for the parking lot as proposed is required prior to building occupancy.
6. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
7. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage

of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.

8. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
9. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
10. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. Site Plan and development plans
- B. Street View
- C. GIS Map



- CONSTRUCTION SEQUENCE NOTES:
1. PROVIDE EROSION CONTROL DEVICES.
 2. POUR CONCRETE PAD 2-3 WEEKS BEFORE BUILDING DELIVERY TO SITE. PROVIDE UNDERGROUND FORCE MAIN THROUGH PAD AND NEAR EXISTING FORCE MAIN.
 3. PLACE TEMPORARY PUMPING EQUIPMENT AND GENERATOR AT SITE. TEST OUT TEMPORARY PUMPING SYSTEM. SEE SPECIFICATION 01 11 00.
 4. PLACE BUILDING. USE HAULER TRUCKS TO WHILE MAKING PIPING CONNECTIONS TO NEW AND EXISTING FORCE MAIN AND TO DISCHARGE COMMON FORCE MAIN IN BUILDING.
 5. PUT TEMPORARY PUMPING SYSTEM IN OPERATION. USE FORCE MAIN CONNECTION IN NEW BUILDING.
 6. CONDUCT WET WELL DEMOLITION AND NEW WORK.
 7. TEST OUT AND COMMISSION PUMPS AND CONTROLS.
 8. DECOMMISSION TEMPORARY PUMPING SYSTEM.
 9. PROVIDE RESTORATION.
 10. REMOVE EROSION CONTROL DEVICES.



DRAWING NO.
6
SHEET NO.
C01

www.ruekertmielke.com

REBID KOPMEIER DRIVE LIFT STATION MODIFICATIONS

PROPOSED SITE PLAN

VILLAGE OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN



Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmiele.com

[illegible]



GNCJD_20180034_Village of Pawaunee10014 Koppenier Lift StationWgZ-A-EL-GEN VALVE AND CONTROL BLO EL,hdwg

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REBID KOPMEIER DRIVE LIFT STATION MODIFICATIONS
GENERATOR, VALVE, AND CONTROL BUILDING ELEVATIONS
VILLAGE OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN

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 RUEKERT & MIELKE INC.
 DESIGNED BY: DWA
 DRAFTED BY: WCB
 CHECKED BY: DJH
 DATE: APRIL 2024
 FILE NO.
 8034-10014.210

DRAWING NO.
8
SHEET NO.
A01

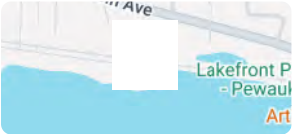
TOWN:### RANGE:### SECTION(s):###

www.ruekertmielke.com

Pewaukee, Wisconsin
Google Street View
Sep 2012



Image capture: Sep 2012 © 2025 Google





Village of Pewaukee GIS



Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 16'

Print Date: 5/1/2025

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Mackenzie Quigley - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: August 6, 2026
MTG DATE: August 13, 2026
RE: 5c – Reduced setback Conditional Use Request

BACKGROUND:

1. Petitioner: James Grabowski
2. Property Owner: James Grabowski
3. Location/Address: 128 Park Avenue
4. Tax Key Number: PWV 0896017
5. Area: ~0.21 AC
6. Existing Zoning: R-5 Residential Detached District
7. Proposed Zoning: N/A
8. Future Land Use: Single Family Residential

OVERVIEW:

The Petitioners are requesting approval of a Conditional Use Grant on a legal non-conforming lot to construct a 6' tall solid fence along the east property line. Section 40.210.(4)(b) of the R-5 district allows for the reduction in a setback with the issuance of a Conditional Use Grant on a nonconforming lot.

SUBMITTAL:

The enclosed submittal includes the Conditional Use Grant application, GIS map and supplemental information for the project.

PLANNER COMMENTS:

In reviewing the subject site, it was determined that the current property constitutes legal non-conforming and therefore is eligible to seek a Conditional Use for a minimum offset for a non-storage related accessory structure of 5'.

As noted, the R-5 Single-Family Residential zoning district, Section 40.210(4)(b) allows a legal non-conforming property to seek a Conditional Use to reduce the minimum offset through the Planning Commission. This parcel is nonconforming due to its current size as it does not meet the code requirements, thus, seeking a conditional use approval for the reduction in offset is an available option.

Fences are primarily regulated through Section 40.422(c) of the zoning code. Section 40.422(c)(3) specifies that any structure in excess of 4½ feet may be permitted provided it conforms to the requirements of the zoning district in which it is located. Therefore, the R-5 district requires a 5' offset for non-storage related accessory structure. Furthermore, the Section 40.422(c)(5) states: Any such structure in excess of 4½ feet in height may be permitted closer than the required offset from an adjoining lot line, other than a street line, with the written consent of the adjoining property owner. This has been the typical path forward for property owners who desire to have a fence over 4½ feet and closer to the property line than the required 5' offset.

To staff's knowledge this has been the first instance where a Conditional Use request has been sought to reduce the offset requirement for a fence. Although this is the first request related to a fence the Village has previously utilized Conditional Use grants to reduce required setbacks and offsets on non-conforming lots. As this is the first instance, Plan Commission will want to pay careful attention to the requirements of issuing a Conditional Use and how this decision may impact the Village in the future.

Conditional Use criteria:

In evaluating the applicant's request, the Plan Commission will want to consider the basis for approval as outlined in Section 40.152 which includes; health, general welfare, safety and economic impact of the Village of Pewaukee and the immediate neighborhood. Specific consideration shall be given to the proposed conditional use's effect on the movement of traffic, environment, area aesthetics, village services and precedent of future development. The code specifically outlines the Plan Commission may deny an application if it concludes any of the following:

- (1) Materially endanger the public health, general welfare and safety; or
- (2) Substantially injure the value of adjoining or abutting property; or
- (3) Be inharmonious with the areas in which it is to be located; or
- (4) Will not be in general conformity with the master plan, or other officially adopted plans.

During its consideration, the Plan Commission will need to evaluate the above and determine if the applicants request meets the considerations as outlined in 40.152 and evaluate if any of the reasons for denial apply.

GAP Parcel:

GIS, County records and the applicants site plan indicate a GAP parcel located immediately adjacent to the applicant's site as shown below. The applicants site plan indicates the fencing being also placed on the gap parcel. The Village cannot approve a Conditional Use for the applicant on property which they do not own, as part of the Conditional Use process includes the recording of the CUG and land covenant. Only the owner of a parcel has the authority to record such a document. Therefore, if the CUG is approved it can only be approved for PWV 0896017 and the subsequent fence would need to stop at the applicant's property line. As currently there is no clear proof of ownership of the GAP parcel, staff would suggest that a condition be added to the CUG request (if approved), that would allow the CUG and fence to be placed on the GAP parcel should the applicant be able to provide documentation showing clear ownership of the GAP parcel or be able to obtain ownership of the GAP parcel in the future.



STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission Approves the Conditional Use Grant Request James Grabowski for the property located at **128 Park Avenue**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of August 13, 2026 are met.
2. That this conditional use allows a 6' fence on the above referenced property to be constructed along the east property line.
3. This approval shall not apply to the GAP parcel located immediately west and adjacent to the subject property. Should the applicant be able to provide documentation showing clear ownership of the GAP parcel or be able to obtain ownership of the GAP parcel in the future then the CUG shall apply.
4. Full execution and recording of the Conditional Use Grant prior to beginning construction.
5. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
6. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
7. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
8. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application



124 / 128 Park Avenue



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor

0 0.0035 0.007 0.0105 0.014
mi



1" = 67'
1:809

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes
None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



CONDITIONAL USE GRANT APPLICATION FORM

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov— 262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

☐

Property Address: 128 Park Avenue, Pewaukee, WI Tax Key: PWV 0896017

Property Owner Name: James Grabowski Zoning of Property: Residential

APPLICANT INFORMATION

☐

Applicant Name: James Grabowski Applicant Phone #: 708-717-0257

Applicant Address: 128 Park Avenue, Pewaukee, WI Applicant Email: grabowski.jim@gmail.com

Applicant Email: _____

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

☐

Business Name, If applicable: _____

FEIN, if applicable: _____

Description of Proposed Use (Restaurant/Retail/Office) I am requesting a CUG to reduce the required 5' setback to a 0' setback for a 6' wooden privacy fence spanning approx 24-30' along the rear lot line of my property. Fence is a manufactured wooden fence which will match the neighboring property. Reasons are for privacy, the alley and businesses, but also from the rear neighbor's "security" cameras viewing into my yard.

DIRECTIONS / NOTES—See page 4 for specific items required

☐

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☐ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☒ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☒ 3. Completed Professional Services Reimbursement Form
- ☒ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: _____

Date/Time Received: _____

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

Jim Grabowski

Property Owner Printed Name

Jim Grabowski

Signature of Property Owner

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Jim Grabowski

Applicant's Printed Name

Jim Grabowski

Signature of Applicant

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

See [the municipal code regarding site structure design criteria for the commercial, industrial, park, institutional, and multi-family residential developments](#) for a complete listing of plan requirements. Additional plan details may be required on a case-by-case basis if the Village's review staff or the Planning Commission finds such information is necessary to complete a full and proper project review.

DETAILED SITE PLAN

engineering scale	floodplain and/or wetland boundary
Location/vicinity map	sign location (may require additional approval)
north arrow	exterior light locations
footprint of dimensioned property lines	phasing lines
existing & proposed buildings	floor area ratio
footprint of existing adjacent buildings	open space ratio
driveway location	site acreage
parking stalls	sidewalks/pedestrian walkways
adjacent public streets	dumpster/recycling area location
easements	ground HVAC and/or utility installations
setback & offset dimensions	fence location
pond/detention location	such other details as may be determined necessary

DETAILED ARCHITECTURAL PLAN

architectural scale	dimensioned building façade sign
all building views/elevations w/scale	exterior utility boxes
detailed materials specifications	
building height dimension	exposed HVAC equipment
general floor plan with dimensions	dumpster/recycling area location and screening
	samples of building materials (for presentation to Planning Commission)
exterior building materials and colors	building mounted lighting fixtures
	such other details as may be determined necessary

DETAILED LANDSCAPING PLAN

existing and proposed two-foot contour lines at the local datum (floodplain property should be identified at USGS datum)
pond/detention location
stormwater and erosion control devices

SIGNAGE PLAN

scaled design drawing of freestanding and/or facade signs
sign specifications and color (wattage, material, dimensions)

EXTERIOR LIGHTING

light fixture design detail and specifications
iso footcandle lighting dispersion plan



PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukeewi.gov—262-691-5660

PROPERTY INFORMATION



Property Address: 128 Park Avenue, Pewaukee, WI Tax Key: PWV 0896017
 Property Owner's Name: James Grabowski Phone Number: 708-717-0257

RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.



Business Name: _____ FEIN: _____
 Person Responsible for Payment / Business Contact Name: James Grabowski
 Mailing Address: 128 Park Ave, Pewaukee, WI
 Responsible Party / Contact Phone Number: 708-717-0257
 Responsible Party / Contact Email Address: grabowski.jim@gmail.com

AGREEMENT / SIGNATURES - Property Owner signature is required.



Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

Property Owner Signature: Jim Grabowski Printed Name: Jim Grabowski Date: 7/8/2026

Applicant Signature: Jim Grabowski Printed Name: Jim Grabowski Date: 7/8/2026

For Office Use Only

Staff Initials: _____

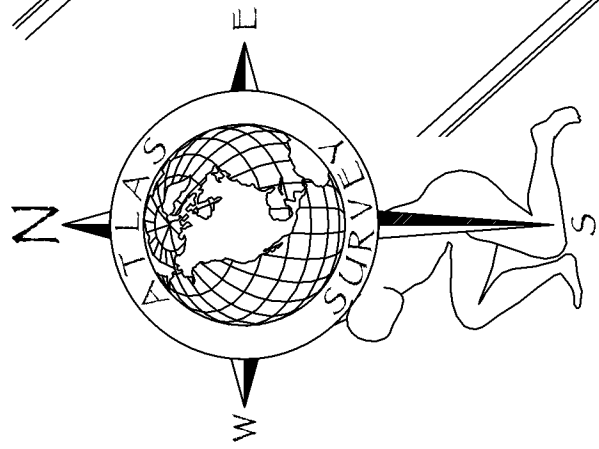
Date Received: _____

PLAT OF SURVEY

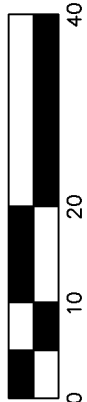
PART OF LOTS 13 THRU 15, BLOCK "A" OF LAKEVIEW ADDITION
LOCATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 9, T.7N., R.19E.,
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGEND

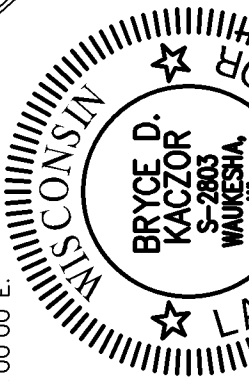
- 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- 1" DIA. IRON PIPE SET, 18" LONG
- CHISELED CROSS SET
- PK NAIL SET
- UTILITY POLE W/ GUY WIRE
- CONCRETE
- ASPHALT



SCALE: 1" = 20'



BEARINGS ARE REFERENCED TO
THE ROW OF LAKE STREET
ASSUMED AS S42°00'00"E.



DATED THIS 12TH DAY OF APRIL 2018
REVISED THIS 21ST DAY OF MAY 2018

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND, IN MY PROFESSIONAL
OPINION, THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO
PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

PROJECT # 18474

ATLAS SURVEY

2826 SAINT ANDREWS COURT
WAUKESHA, WI 53188
(262) 901-5256
WWW.ATLASSURVEYWI.COM

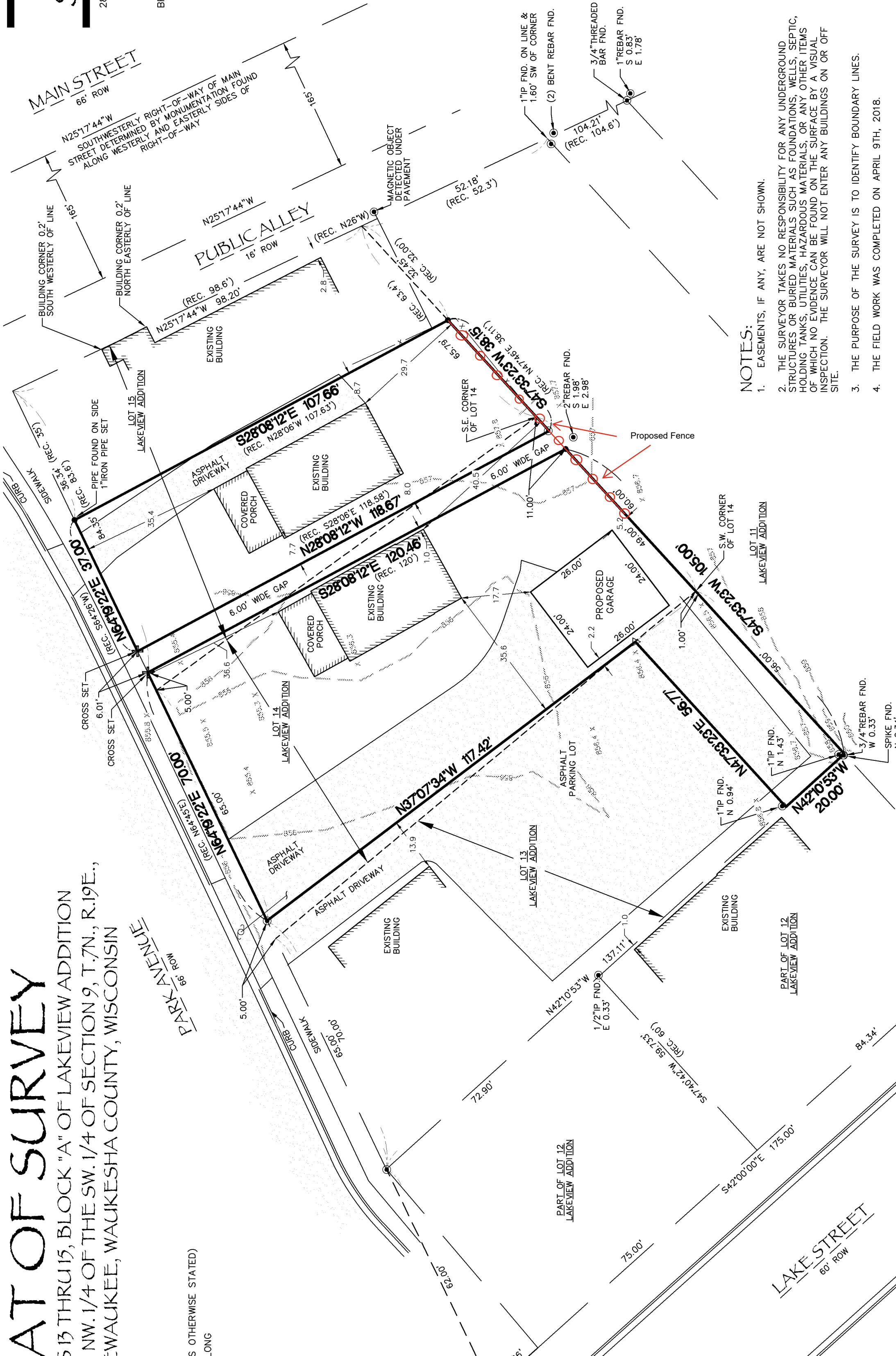
SURVEYOR:
BRYCE KACZOR, PLS S-2803

SURVEY FOR:
JAMES GRABOWSKI

128 PARK AVE
PEWAUKEE, WI 53072

SURVEY FOR:
KEN WARD

124 PARK AVE
PEWAUKEE, WI 53072



NOTES:

- EASEMENTS, IF ANY, ARE NOT SHOWN.
- THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON OR OFF SITE.
- THE PURPOSE OF THE SURVEY IS TO IDENTIFY BOUNDARY LINES.
- THE FIELD WORK WAS COMPLETED ON APRIL 9TH, 2018.

LEGAL DESCRIPTION

(128 PARK AVENUE PER DOC. #4289841)

All that part of lots 13, 14, and 15, in Block "A", of Lakeview Addition to Pewaukee Village, being a part of the Southeast 1/4 of Section 8, and part of the Southwest 1/4 of Section 9, in Township 7 North, range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin, described as follows:

Commencing at a point the Northwest corner of lot 15, Block "A", 5 feet Northeastly from the Northwest corner of said lot 15 along the Southerly line of Oakton Avenue (Now Park Avenue); then Southerly 120 feet to a point 11 feet Southeastly from the Southeast corner of lot 14; thence Southerly along the Southerly line of lot 14 and lot 13, 105 feet to Southwesterly corner of lot 13; thence Northwesterly 20 feet on Westerly line of lot 13; thence Easterly to a point 20 feet Northwesterly of Southeastly corner of lot 13; thence Northwesterly to a point 5 feet Northeastly of Northeast corners of lot 13; thence Northeastly on Northerly lines of lot 14 and 15, 70 feet to the place of beginning.

(124 PARK AVENUE PER DOC. #4312271)

All that part of Lots Fourteen (14) and Fifteen (15), in Block "A", LAKEVIEW ADDITION THE VILLAGE OF PEWAUKEE, Waukesha County, Wisconsin, bound and described as follows:

Beginning at a point on the Northerly line of said Lot Fifteen (15), said point being South 64 degrees 26 feet West of and 35.00 feet distant from the most Northerly corner of said Lot 15; thence continuing South 64 degrees 26 feet West along the Northerly line of the Lot 37.00 feet; thence South 28 degrees 06 feet East, 118.58 feet to the Southeasterly line of Lots Fourteen (14), thence North 47 degrees 46 feet East along the Southeasterly line of Lots Fourteen (14) and Fifteen (15), 38.11 feet to a point which is South 47 degrees 46 feet West of and 32.00 feet distant from the most Easterly corner of Lot Fifteen (15); thence North 28 degrees 06 feet West, 107.63 feet to the place of beginning.

3 x 6 Horizontal Wood Fence Panel

(Nominal Size: 36"H x 72"W)

Model Number: F2890 | Menards® SKU: 1731110



EVERYDAY LOW PRICE

\$31.45

SALE PRICE Limited Time Offer

\$28.98

11% REBATE* Good Through 7/12/26

\$3.19

VALUE
AFTER
REBATE*

\$25⁷⁹ each

You Save \$5.66 After Sale Price & Mail-In Rebate*

ADD TO CART



Rebate is not an instant price reduction on the advertised items at the point of original purchase. Rebate is a mail-in rebate issued as a Rebate Credit Check that is a discount on future in-store purchases only and not purchases on MENARDS.COM®. "Value After Rebate" is the price or sale price minus the future rebate discounts. Valid on merchandise; excludes purchase of gift cards, rentals, service plans, delivery charges and processing fees. See bottom of page for details.

! Additional Packaging/Handling Charges May Apply.

- Easy to Haul: 3 x 6 size makes it easier to haul and handle
- Easy Installation: Pre-Assembled Panels for fast & easy installation
- Pre-Stained: Ready to install with long-lasting color and protection

[View More Information](#) >

Pick Up At Store



2 In-Stock at [Pewaukee](#)



Need to order more?
1,939 Available for Immediate Delivery From Our Fulfillment Center
Delivery Available



[Check Another Store for Availability](#)



[Share](#)

Description & Documents

Elevate the curb appeal of your home with our 3x6 Stackable Horizontal Wood Fence Panel, designed to blend durability with aesthetic charm. Made from premium, high-quality whitewood and pre-stained with a rich cedar like color stain, this fence panel offers both strength and beauty for your front or backyard for years to come. Need a taller fence? This stackable design allows you to easily combine two 3x6 panels to create a 6x6 panel, giving you customizable height options for added privacy and security in your front or backyard. Save time and money with these pre-stained panels. The panels are ready for installation and offer long-lasting color and protection from day one.

Features

- Easy to Haul: 3 x 6 size makes it easier to haul and handle
- Easy Installation: Pre-Assembled Panels for fast & easy installation
- Pre-Stained: Ready to install with long-lasting color and protection
- Finish: Enhances appearance and protects against the elements for long-lasting durability.
- Stackable Design: Easily combine two 3 x 6 panels to create a 6x6 panel for customizable height.
- Built to Last: High-quality whitewood resists warping and fading.
- Versatile: Ideal for both front and backyards, offering modern style and privacy.
- Construction Materials: 3 x 6 fence panel is built with seven 5/8 x 5 x 6 fence pickets nailed to three 2 x 3 x 3 backer rails
- Additional Materials: Post sold separately

Additional Resources

[Safety Data Sheets \(SDS\).](#)

[Pressure Treated Wood Building Tips](#)



Specifications

Product Type	Wood Privacy Fence Panel
Material	Pre-Stained Wood
Thickness	Board & Rail - 2.125" thickness inch, Board: 5/8" - .625" thickness inch
Overall Height	36 inch
Weight	60 pound
Overall Width	72 inch
Color/Finish	Cedar Color
Top Style	Flat
Installed Height	36 inch
Shipping Dimensions	72.00 H x 36.00 W x 2.25 D
Shipping Weight	53.0 lbs
Return Policy	Special Order Merchandise (view Return Policy).

Optional Accessories



AC2® 4 x 4 x 8' #1 Critical Structural CedarTone Premium Pressure Treated Timber

Sku #: 1116238

PRICE	\$17.89
11% REBATE*	\$1.97



Fast Setting Concrete Mix - 50 lbs

Sku #: 1891111

SALE PRICE	\$6.73
11% REBATE*	\$0.74



Instant Post Concrete Mix - 50 lbs

Sku #: 1894027

PRICE	\$9.99
11% REBATE*	\$1.10

VALUE
AFTER
REBATE*

\$15⁹²
each

VALUE
AFTER
REBATE*

\$5⁹⁹
each

VALUE
AFTER
REBATE*

\$8⁸⁹
each

ADD TO CART

ADD TO CART

ADD TO CART



Grip Fast® #9 x 3-1/2" Combo
Drive Gold Flat Head Triple Coated
Exterior Deck Screw - 5 lb. Box

Sku #: 2305564

PRICE\$29.97

11% REBATE*\$3.30

VALUE
AFTER
REBATE*

\$26⁶⁷
each

ADD TO CART

Popular Links

[Kitchen](#) • [Building Materials](#) • [Electrical](#) • [Water Heaters](#) • [Storage & Organization](#) • [Appliances](#) • [Pet & Wildlife](#) • [Cleaners & Household Essentials](#) • [Lumber & Boards](#)

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Mackenzie Quigley - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: August 6, 2026
MTG DATE: August 13, 2026
RE: 5d – Reduced setback Conditional Use Request

BACKGROUND:

1. Petitioner: Ken Ward
2. Property Owner: Ken Ward
3. Location/Address: 124 Park Avenue
4. Tax Key Number: PWV 0896018
5. Area: ~0.1 AC
6. Existing Zoning: R-5 Residential Detached District
7. Proposed Zoning: N/A
8. Future Land Use: Single Family Residential

OVERVIEW:

The Petitioner is requesting approval of a Conditional Use Grant on a legal non-conforming lot to construct a 8' tall solid fence along the north and east property lines. Section 40.210.(4)(b) of the R-5 district allows for the reduction in a setback with the issuance of a Conditional Use Grant on a nonconforming lot.

SUBMITTAL:

The enclosed submittal includes the Conditional Use Grant application, GIS map and supplemental information for the project.

PLANNER COMMENTS:

In reviewing the subject site, it was determined that the current property constitutes legal non-conforming and therefore is eligible to seek a Conditional Use for a minimum offset for a non-storage related accessory structure of 5'.

As noted, the R-5 Single-Family Residential zoning district, Section 40.210(4)(b) allows a legal non-conforming property to seek a Conditional Use to reduce the minimum building setback through the Planning Commission. This parcel is nonconforming due to its current size does not meeting the code requirements, thus, seeking a conditional use approval for the reduction in offset is an available option.

Fences are primarily regulated through Section 40.422(c) of the zoning code. Section 40.422(c)(3) specifies that any structure in excess of 4½ feet may be permitted provided it conforms to the requirements of the zoning district in which it is located. Therefore, the R-5 district requires a 5' offset for non-storage related accessory structure. Furthermore, the Section 40.422(c)(5) states: Any such structure in excess of 4½ feet in height may be permitted closer than the required offset from an adjoining lot line, other than a street line, with the written consent of the adjoining property owner. This has been the typical path forward for property owners who desire to have a fence over 4½ feet and closer to the property line than the required 5' offset.

To staff's knowledge this has been the first instance where a Conditional Use request has been sought to reduce the offset requirement for a fence. Although this is the first request related to a fence the Village has previously utilized Conditional Use grants to reduce setback and offsets on non-conforming lots. As this is the first instance, Plan Commission will want to pay careful attention to the requirements of issuing a Conditional Use and how this decision may impact the Village in the future.

Conditional Use criteria:

In evaluating the applicant's request, the Plan Commission will want to consider the basis for approval as outline in Section 40.152 which includes; health, general welfare, safety and economic impact of the Village of Pewaukee and the immediate neighborhood. Specific consideration shall be given to the proposed conditional use's effect on the movement of traffic, environment, area aesthetics, village services and precedent of future development. The code specifically outlines the Plan Commission may deny an application if it concludes any of the following:

- (1) Materially endanger the public health, general welfare and safety; or
- (2) Substantially injure the value of adjoining or abutting property; or
- (3) Be inharmonious with the areas in which it is to be located; or
- (4) Will not be in general conformity with the master plan, or other officially adopted plans.

During its consideration, the Plan Commission will need to evaluate the above and determine if the applicants request meets the considerations as outlined in 40.152 and evaluate if any of the reasons for denial apply.

GAP Parcel:

GIS, County records and the applicant site plan indicate a GAP parcel located immediately adjacent to the applicant's site as shown below. The applicants site plan indicates the fencing being also placed on the gap parcel. The Village cannot approve a Conditional Use for the applicant on property which they do not own, as part of the Conditional Use process includes the recording of the CUG and land covenant. Only the owner of a parcel has the authority to record such a document. Therefore, if the CUG is approved it can only be approved for PWV 0896018 and the subsequent fence would need to stop at the applicants property line. As currently there is no clear proof of ownership of the GAP parcel, staff would suggest that a condition be added to the CUG request (if approved), that would allow the CUG and fence to be placed on the GAP parcel should the applicant be able to provide documentation showing clear ownership of the GAP parcel or be able to obtain ownership of the GAP parcel in the future.



STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Conditional Use Grant Request Ken Ward for the property located at **124 Park Avenue**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of August 13, 2026 are met.
2. That this conditional use allows a 8' fence on the above referenced property to be constructed along the north and east property line.
3. This approval shall not apply to the GAP parcel located immediately west and adjacent to the subject property. Should the applicant be able to provide documentation showing clear ownership of the GAP parcel or be able to obtain ownership of the GAP parcel in the future then the CUG shall apply.
4. Full execution and recording of the Conditional Use Grant prior to beginning construction.
5. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
6. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
7. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
8. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application



124 / 128 Park Avenue



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor

0 0.0035 0.007 0.0105 0.014
mi

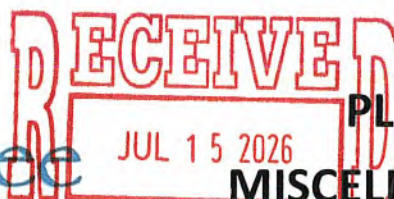


1" = 67'
1:809

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes
None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



PLAN COMMISSION MISCELLANEOUS APPLICATION

By: _____ No Application Fee for Miscellaneous Services

Due approximately 4 weeks prior to meeting date

235 Hickory St - Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 124 Park Avenue Tax Key: PWV PWV 0896018

Zoning of Property: R-5 Property Owner Name: Ken Ward

Property Owner Email: kennward@gmail.com Property Owner Phone #: 414-588-3104

APPLICANT INFORMATION (IF DIFFERENT THAN OWNER)

Applicant Name: _____ Applicant Phone #: _____

Applicant Address: _____

Applicant Email: _____

TYPE OF REQUEST: CHECK ALL THAT APPLY

☐ Sign Plan Approval

☐ Preliminary Plat Approval

☐ Final Plat Approval

☐ Developer's Agreement

☐ Certified Survey Map

☒ Other (Describe) 8 foot high privacy fence adjacent to the property line to 118 Lake Street, PWV 0896013001 and 120 Park Ave.

SIGNATURES

Application will not be processed without a completed Professional Services Agreement.

This signature authorizes the Village of Pewaukee to process the consultation application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Current Property Owner: Kenneth R Ward Digitally signed by Kenneth R Ward
Date: 2026.07.15 11:06:18 -05'00' Date: 7/15/2026

Signature of Applicant: Kenneth R Ward Digitally signed by Kenneth R Ward
Date: 2026.07.15 11:07:36 -05'00' Date: 7/15/2026

DIRECTIONS

Please include the following required items with this application:

1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less.
Also provide one full size scale copy if larger than 11x17.
2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email) ☐
3. Completed Professional Services Reimbursement Form. ☐

For Office Use Only

Staff Initials: KW

Date/Time Received: 7/15/2026



PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

PROPERTY INFORMATION



Property Address: 124 Park Street Tax Key: PWV 0896018

Property Owner's Name: Ken Ward Phone Number: 414-588-3104

RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.



Business Name: N/A FEIN: N/A

Person Responsible for Payment / Business Contact Name: KENNETH R WARD

Mailing Address: 124 PARK AVENUE, PEWAUKEE WI 53072

Responsible Party / Contact Phone Number: 414-588-3104

Responsible Party / Contact Email Address: KENNRWARD@GMAIL.COM

AGREEMENT / SIGNATURES - Property Owner signature is required.



Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

Property Owner Signature: Kenneth R Ward Digitally signed by Kenneth R Ward
Date: 2026.07.15 11:04:16 -05'00' Printed Name: Kenneth R Ward Date: 7/14/2026

Applicant Signature: Kenneth R Ward Digitally signed by Kenneth R Ward
Date: 2026.07.15 11:04:56 -05'00' Printed Name: Kenneth R Ward Date: 7/14/2026

For Office Use Only

Staff Initials: AK

Date Received: 7/15/2026



CONDITIONAL USE GRANT APPLICATION FORM

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov— 262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 124 PARK AVENUE Tax Key: PWV 0896 018

Property Owner Name: KEN WARD Zoning of Property: R-5

APPLICANT INFORMATION

Applicant Name: KEN WARD Applicant Phone #: 414-588-3104

Applicant Address: 124 PARK AVENUE Applicant Email: KENNRWARD@GMAIL.COM

Applicant Email: KENNRWARD@GMAIL.COM

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

Business Name, If applicable: _____

FEIN, if applicable: _____

Description of Proposed Use (Restaurant/Retail/Office) PROPOSED 8 FOOT HIGH PRIVACY FENCE
ADJACENT TO THE COMMON PROPERTY LINE OF 118 LAKE STREET, (PLOT
PWV 0896 013 001 AND 120 PARK AVENUE

DIRECTIONS / NOTES—See page 4 for specific items required

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☐ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☐ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☐ 3. Completed Professional Services Reimbursement Form
- ☐ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: AK

Date/Time Received: 7/15/2020

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

Ken Ward

Property Owner Printed Name

Ken Ward

Signature of Property Owner

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Ken Ward

Applicant's Printed Name

Ken Ward

Signature of Applicant

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

See [the municipal code regarding site structure design criteria for the commercial, industrial, park, institutional, and multi-family residential developments](#) for a complete listing of plan requirements. Additional plan details may be required on a case-by-case basis if the Village’s review staff or the Planning Commission finds such information is necessary to complete a full and proper project review.

DETAILED SITE PLAN

engineering scale	floodplain and/or wetland boundary
Location/vicinity map	sign location (may require additional approval)
north arrow	exterior light locations
footprint of dimensioned property lines	phasing lines
existing & proposed buildings	floor area ratio
footprint of existing adjacent buildings	open space ratio
driveway location	site acreage
parking stalls	sidewalks/pedestrian walkways
adjacent public streets	dumpster/recycling area location
easements	ground HVAC and/or utility installations
setback & offset dimensions	fence location
pond/detention location	such other details as may be determined necessary

DETAILED ARCHITECTURAL PLAN

architectural scale	dimensioned building façade sign
all building views/elevations w/scale	exterior utility boxes
detailed materials specifications	
building height dimension	exposed HVAC equipment
general floor plan with dimensions	dumpster/recycling area location and screening
	samples of building materials (for presentation to Planning Commission)
exterior building materials and colors	building mounted lighting fixtures
	such other details as may be determined necessary

DETAILED LANDSCAPING PLAN

existing and proposed two-foot contour lines at the local datum (floodplain property should be identified at USGS datum)
pond/detention location
stormwater and erosion control devices

SIGNAGE PLAN

scaled design drawing of freestanding and/or facade signs
sign specifications and color (wattage, material, dimensions)

EXTERIOR LIGHTING

light fixture design detail and specifications
iso footcandle lighting dispersion plan

Narrative for fence application at 124 Park Avenue

7/14/2026

124 Park Avenue received approval for a 6-foot-high fence on the common property line with 120 Park Avenue in 2025 and the fence was installed in 2025. The current Conditional Use application is to increase the height of the fence from 6 feet to 8 feet to shield glare from commercial uses to the northeast across the ally. The Conditional Use application is also to replace an existing 42-inch-high fence with an 8-foot-high privacy fence on the common lot line with 118 Lake Street. The purpose of the fence is to block the view of trailers and the recently constructed garage on the parcel at 118 Lake Street. The materials for the fence will be the same material as the fence installed in 2025. The fence materials are treated cedar tone prefabricated 3 foot by 6 foot panels. The fence will be double sided for aesthetic reasons.

Ken Ward

124 Park Avenue

Pewaukee, WI 53072

PLAT OF SURVEY

PART OF LOTS 13 THRU 15, BLOCK "A" OF LAKEVIEW ADDITION
LOCATED IN THE NW. 1/4 OF THE SW. 1/4 OF SECTION 9, T.7N., R.19E.,
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGEND

- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- 1" DIA. IRON PIPE SET, 18" LONG
- + CHISELED CROSS SET
- ▽ PK NAIL SET
- UTILITY POLE W/ GUY WIRE
- CONCRETE
- ASPHALT



SCALE: 1" = 20'

BEARINGS ARE REFERENCED TO
THE ROW OF LAKE STREET
ASSUMED AS S42°00'00"E.



DATED THIS 12TH DAY OF APRIL 2018
REVISED THIS 21ST DAY OF MAY 2018

SURVEYOR'S CERTIFICATE:

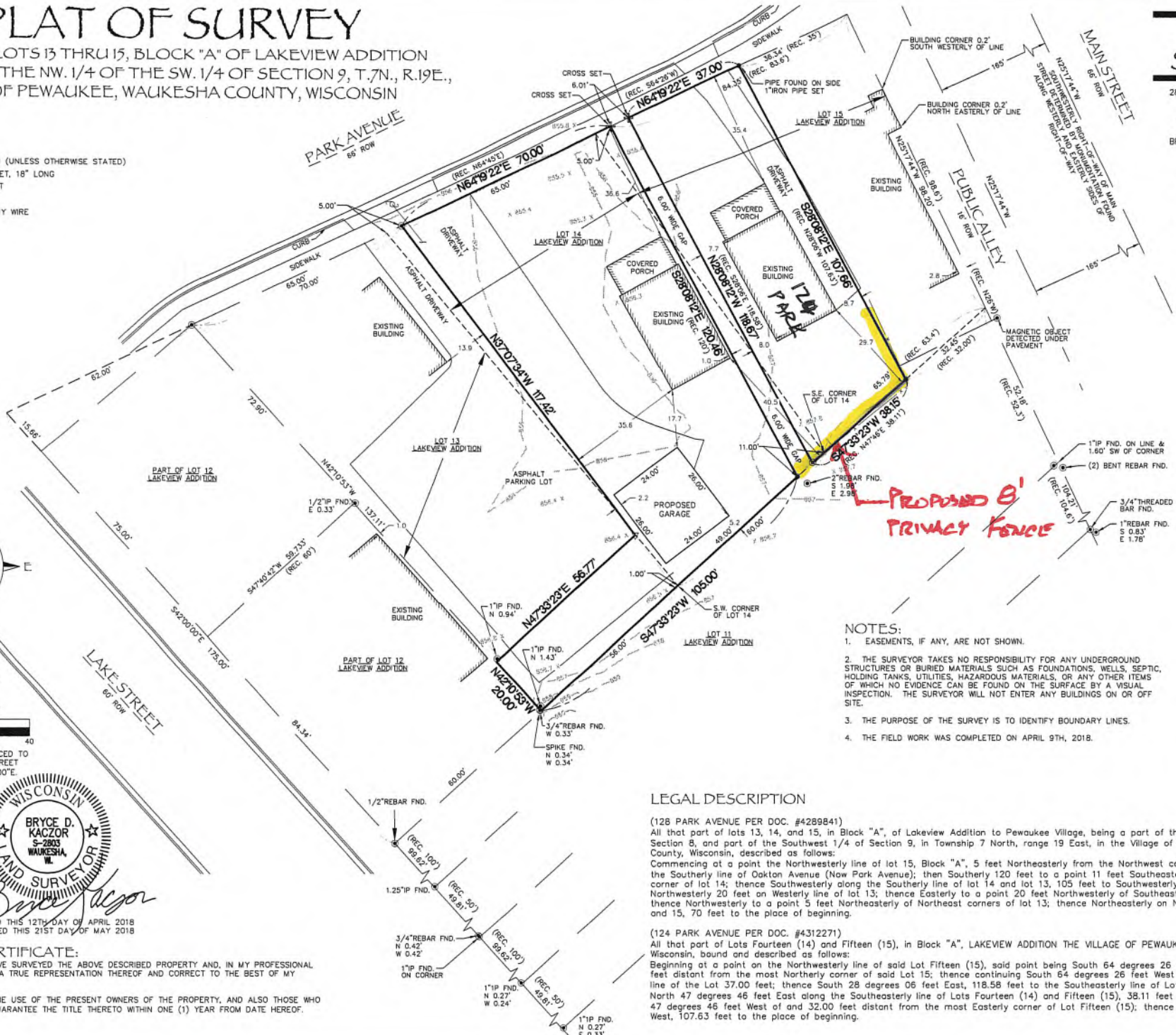
I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND, IN MY PROFESSIONAL
OPINION, THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO
PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

PROJECT # 18474

ATLAS SURVEY

2826 SAINT ANDREWS COURT
WAUKESHA, WI 53188
(262) 901-5256
WWW.ATLASSURVEYWI.COM
SURVEYOR:
BRYCE KACZOR, PLS S-2803
SURVEY FOR:
JAMES GRABOWSKI
128 PARK AVE
PEWAUKEE, WI 53072
SURVEY FOR:
KEN WARD
124 PARK AVE
PEWAUKEE, WI 53072



NOTES:

1. EASEMENTS, IF ANY, ARE NOT SHOWN.
2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND
STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC,
HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS
OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL
INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON OR OFF
SITE.
3. THE PURPOSE OF THE SURVEY IS TO IDENTIFY BOUNDARY LINES.
4. THE FIELD WORK WAS COMPLETED ON APRIL 9TH, 2018.

LEGAL DESCRIPTION

(128 PARK AVENUE PER DOC. #4289841)

All that part of lots 13, 14, and 15, in Block "A", of Lakeview Addition to Pewaukee Village, being a part of the Southeast 1/4 of
Section 8, and part of the Southwest 1/4 of Section 9, in Township 7 North, range 19 East, in the Village of Pewaukee, Waukesha
County, Wisconsin, described as follows:
Commencing at a point the Northwesterly line of lot 15, Block "A", 5 feet Northeastly from the Northwest corner of said lot 15 along
the Southerly line of Oakton Avenue (Now Park Avenue); then Southerly 120 feet to a point 11 feet Southeastly from the Southeast
corner of lot 14; thence Southwesterly along the Southerly line of lot 14 and lot 13, 105 feet to Southwesterly corner of lot 13; thence
Northwesterly 20 feet on Westerly line of lot 13; thence Easterly to a point 20 feet Northwesterly of Southeastly corner of Lot 13;
thence Northwesterly to a point 5 feet Northeastly of Northeast corners of lot 13; thence Northeastly on Northerly lines of lot 14
and 15, 70 feet to the place of beginning.

(124 PARK AVENUE PER DOC. #4312271)

All that part of Lots Fourteen (14) and Fifteen (15), in Block "A", LAKEVIEW ADDITION THE VILLAGE OF PEWAUKEE, Waukesha County,
Wisconsin, bound and described as follows:
Beginning at a point on the Northwesterly line of said Lot Fifteen (15), said point being South 64 degrees 26 feet West of and 35.00
feet distant from the most Northerly corner of said Lot 15; thence continuing South 64 degrees 26 feet West along the Northwesterly
line of the Lot 37.00 feet; thence South 28 degrees 06 feet East, 118.58 feet to the Southeastly line of Lots Fourteen (14), thence
North 47 degrees 46 feet East along the Southeastly line of Lots Fourteen (14) and Fifteen (15), 38.11 feet to a point which is South
47 degrees 46 feet West of and 32.00 feet distant from the most Easterly corner of Lot Fifteen (15); thence North 28 degrees 06 feet
West, 107.63 feet to the place of beginning.



View of exterior fence design (3' x 6" treated panels) looking southeast from 120 Park



Rear yard of 124 Park looking east. Existing 42" fence to be replaced with 8 foot privacy fence

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Mackenzie Quigley - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: August 6, 2026
MTG DATE: August 13, 2026
RE: 5e – Lake Country Barge CUG – Conditional Use Grant

BACKGROUND:

1. Petitioner: Lake Country Barge
2. Property Owner: Capital Acquisition LLC
3. Location/Address: 400 Sussex Street
4. Area: Part of the existing 4.32 acres
5. Existing Zoning: B-5 Light Industrial District
6. Proposed Zoning: N/A
7. Future Land Use: Industrial / Business Park

OVERVIEW:

The site was previously the home of Center Point Marine. It has since been acquired by Capital Acquisitions LLC, who intended to lease the northern portion of the site to Lake Country Barge who is presently located at 230 Sussex Street. The applicant is requesting approval of a Conditional Use Grant to relocate to the subject site. The applicant obtained a CUG for their prior site in 2018 which is also zoned B-5 Light Industrial. The current owner has substantially cleaned up the site since taking over and is proposing additional improvements for the site.

SUBMITTAL:

The enclosed submittal includes the Applications, Site Plan, Building Elevation and Narrative.

PLANNER COMMENTS:

Conditional Use Grant. The Village Code permits the proposed uses by the issuance of a Conditional Use Grant in the B-5 Light Industrial District. In order for the project to proceed the Village must grant a CUG for the proposed use.

Site Plan. The applicant is proposing to utilize the northern 2.6 acres of the site, including the existing northernmost building. The applicant has indicated new landscaping, fencing and building improvements will be taking place on the site. However, no plans have been submitted. Although landscaping and fencing improvements are not required as the newly proposed site is considerable similar to the prior use, staff recommends those plans be submitted for review and approval prior to any improvements taking place.

Signage: The applicant has not provided any sign plans as part of their submittal. Code compliant signage plans will need to be submitted and reviewed separately before any sign permits can be issued.

Building Facades: The plans provided do not include any updates to the building facades besides tuckpointing and painting.

Considerations:

In evaluating the applicant's request, the Plan Commission will want to consider the basis for approval as outline in Section 40.152 which includes; health, general welfare, safety and economic impact of the Village of Pewaukee and the immediate neighborhood. Specific consideration shall be given to the proposed conditional use's effect on the movement of traffic, environment, area aesthetics, village services and precedent of future development. The code specifically outlines the Plan Commission may deny an application if it concludes any of the following:

- (1) Materially endanger the public health, general welfare and safety; or
- (2) Substantially injure the value of adjoining or abutting property; or
- (3) Be inharmonious with the areas in which it is to be located; or
- (4) Will not be in general conformity with the master plan, or other officially adopted plans.

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

CONDITIONAL USE REQUEST FOR AN BOAT DOCK AND STORAGE BUSINESS

The Village of Pewaukee Plan Commission **Approves** the Conditional Use Request for an Lake Country Barge for the property located at 400 Sussex, subject to the following conditions:

Planning Conditions:

1. That all conditions made by the Plan Commission at their meeting of August 2026 pertaining to development are met.
2. Full execution and recording of the Conditional Use Grant prior to beginning construction.
3. Any signage plans be presented to the Village Zoning Administrator and approval by Staff.
4. Landscaping, fencing and an outdoor storage layout shall be submitted to Village staff for review and approval prior to recording of the Conditional Use Grant.
5. This Site Plan/Plan of Operation approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission. The existing site plan/plan of operation shall remain in effect, except as further restricted or modified herein.
6. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
7. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any

particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.

8. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses. Fire department approval following review to ensure any additional fire access requirements for the parking lot as proposed is required prior to building occupancy.
9. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
10. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
11. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
12. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
13. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application, plan set, narrative



400 Sussex Street



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Vantor

0 0.01 0.02 0.03 0.04
mi



1" = 212'
1:2,543

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes

None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



CONDITIONAL USE GRANT APPLICATION FORM

Fee \$190

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukeewi.gov— 262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION ☐

Property Address: 400 SUSSEX STREET Tax Key: PWV 0897993
Property Owner Name: CAPITAL ACQUISITION LLC Zoning of Property: B5

APPLICANT INFORMATION ☐

Applicant Name: LAKE COUNTRY BARGE Applicant Phone #: 262-490-5080
Applicant Address: 230 SUSSEX STREET
Applicant Email: ERIN@LAKECOUNTRYBARGE.COM

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed) ☐

Business Name, If applicable: LAKE COUNTRY BARGE
FEIN, if applicable: N/A
Description of Proposed Use (Restaurant/Retail/Office) SEE ATTACHED INFORMATION

DIRECTIONS / NOTES—See page 4 for specific items required ☐

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☐ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☐ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☐ 3. Completed Professional Services Reimbursement Form
- ☐ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: JS

Date/Time Received: 7/15

Sent to
Mayor
7/14

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

MATTHEW QUEST

Property Owner Printed Name

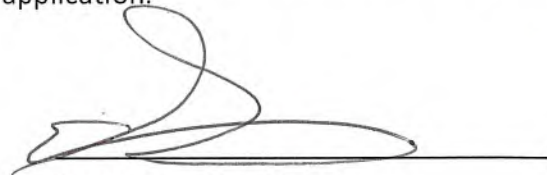


Signature of Property Owner

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

ERIN STAPLETON

Applicant's Printed Name



Signature of Applicant

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

See [the municipal code regarding site structure design criteria for the commercial, industrial, park, institutional, and multi-family residential developments](#) for a complete listing of plan requirements. Additional plan details may be required on a case-by-case basis if the Village's review staff or the Planning Commission finds such information is necessary to complete a full and proper project review.

DETAILED SITE PLAN

engineering scale	floodplain and/or wetland boundary
Location/vicinity map	sign location (may require additional approval)
north arrow	exterior light locations
footprint of dimensioned property lines	phasing lines
existing & proposed buildings	floor area ratio
footprint of existing adjacent buildings	open space ratio
driveway location	site acreage
parking stalls	sidewalks/pedestrian walkways
adjacent public streets	dumpster/recycling area location
easements	ground HVAC and/or utility installations
setback & offset dimensions	fence location
pond/detention location	such other details as may be determined necessary

DETAILED ARCHITECTURAL PLAN

architectural scale	dimensioned building façade sign
all building views/elevations w/scale	exterior utility boxes
detailed materials specifications	
building height dimension	exposed HVAC equipment
general floor plan with dimensions	dumpster/recycling area location and screening
	samples of building materials (for presentation to Planning Commission)
exterior building materials and colors	building mounted lighting fixtures
	such other details as may be determined necessary

DETAILED LANDSCAPING PLAN

existing and proposed two-foot contour lines at the local datum (floodplain property should be identified at USGS datum)
pond/detention location
stormwater and erosion control devices

SIGNAGE PLAN

scaled design drawing of freestanding and/or facade signs
sign specifications and color (wattage, material, dimensions)

EXTERIOR LIGHTING

light fixture design detail and specifications
iso footcandle lighting dispersion plan



PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

PROPERTY INFORMATION

☐

Property Address: 400 SUSSEX STREET Tax Key: PWV 0897993

Property Owner's Name: CAPITAL ACQUISITION Phone Number: 414-640-6288

RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.

☐

Business Name: CAPITAL ACQUISITION FEIN: N/A

Person Responsible for Payment / Business Contact Name: MATTHEW QUEST

Mailing Address: 153 PARK AVENUE, SUITE 201

Responsible Party / Contact Phone Number: 414-640-6288

Responsible Party / Contact Email Address: MQUEST@CAPITAL-CRE.COM

AGREEMENT / SIGNATURES - Property Owner signature is required.

☐

Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

Property Owner Signature: [Signature] Printed Name: MATTHEW QUEST Date: 7/15/26

Applicant Signature: [Signature] Printed Name: ERIN STAPLETON Date: 7/15/26

For Office Use Only

Staff Initials: _____

Date Received: _____

BUSINESS SUMMARY

Tenants	Lake Country Barge Docks and Lifts
Operation	Lake Country Barge Docks and Lifts is a leading provider of services and sales for docks, boat lifts and lakefront services. With 15+ years of experience in Southeast Wisconsin, our team offers residential and commercial solutions, from new installations to seasonal maintenance and emergency lake services. We have a large inventory of lifts, docks and accessories to enhance your waterfront experience. We deliver exceptional workmanship and customer service for all your lakefront services.

Development Plan

Owner	Capital Acquisitions LLC Matthew J. Quest, Manager/Owner
Development Description	The property at 400 Sussex Street was purchased by Capital Acquisitions LLC for investment purposes. The owner has been a Pewaukee resident and business owner for more than 25 years and owns additional investment properties within the Village and City of Pewaukee. The goal for this property is to improve its appearance so that it is more desirable for business owners as well as an improvement to the community. Capital Acquisitions will improve the existing property, landscaping and fencing on the west side of the property. Below is a list of proposed improvements that have already taken place.
Improvements	Existing Buildings will be tuckpointed and painted New doors and windows installed and repaired Fascia and soffits will be replaced and painted Fence screening will be installed along the west side of the property New landscaping in front of the existing building, on the west side of the property. Owner proposes evergreen trees that will grow larger and provide superior screening. Rendering will be provided



Legend

- Site Address
- Site Address Units
- Tax Parcels
- Assessor Plat Assessor
- CSM CSM
- Condominium Condominium
- Subdivision Subdivision
- █ Override 1
- █ Override 2

Notes

Printed Date: 7/14/2026 6:01 PM

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Mackenzie Quigley - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: August 6, 2026
MTG DATE: August 13, 2026
RE: 5f – Lot Combination Request (CSM) at 851 E. Wisconsin

BACKGROUND:

1. Petitioner: Dale Stauber
2. Property Owner: Dale & Mary Stauber
3. Location/Address: 851E. Wisconsin Avenue
4. Tax Key Number: PWV 0900061 & 0900064
5. Area: ~.326 AC
6. Existing Zoning: R-5 Residential Detached District & FW Floodway District
7. Proposed Zoning: N/A
8. Future Land Use: Residential
9. Proposed Future Land Use: N/A

OVERVIEW:

The Petitioners are requesting approval of a Certified Survey Map in order to combine two existing lots. The petitioners' improvements cross the common lot line and the adjustment will make the property more conforming.

SUBMITTAL:

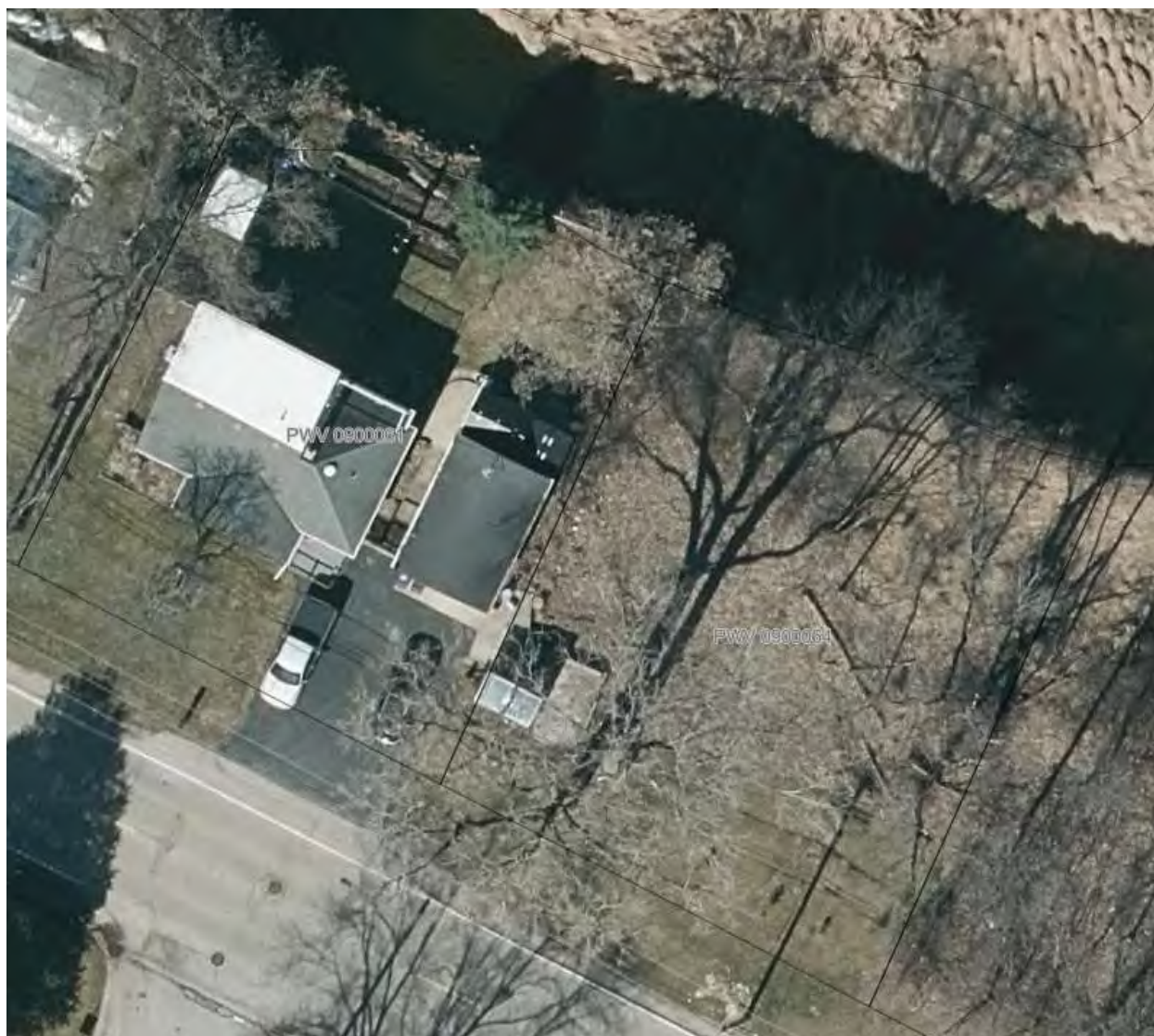
The enclosed submittal includes the application and Certified Survey Map.

PLANNER COMMENTS:

1. **Certified Survey Map.** The actual survey has been reviewed by engineering for adherence to Village and State codes. During the review the engineer found a number of issues with the proposed CSM and worked with the applicant and their surveyor to address the issues. A revised CSM was submitted for review as a result. A copy of the engineer's report is attached. The following items will still need to be addressed as part of the final CSM submittal.
 1. Sheet 1 - Overall length of shore (typically to the nearest foot) must be added, as this is the boundary dimension.
 2. Sheet 2 - Ordinary High-Water Mark is to be shown and identified.
 3. Sheet 2 - Public Trust information shall be added.
 4. Sheet 3 – State who directed the Professional Land Surveyor to make the survey, division, and map of

the land described on the CSM.

5. Sheet 4 – If applicable, a Mortgage Certificate may be required.
 6. Sheet 5 – Removal of Village Board block.
2. **Zoning - Lot Combination.** The CSM shows combining the existing ~0.16 acre and ~0.17 acre parcels into a single lot. Presently the home and main accessory structure exist on the western lot with minor patio improvements crossing the common lot line. Combining the parcels will resolve this issue, resulting in an overall more confirming parcel.



STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission Approves the Certified Survey Map Request for a lot combination for the property located at **851E. Wisconsin Avenue**, subject to the following conditions:

1. Any conditions made by the Plan Commission at their meeting of August 13, 2026.
2. That all engineering comments are satisfied for the Certified Survey Map prior to Village signature and recording.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application
- C. Engineer's Report



851 E. Wisconsin Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor

0 0.003 0.006 0.009 0.012
mi



1" = 61'
1:729

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes

None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



PLAN COMMISSION MISCELLANEOUS APPLICATION

No Application Fee for Miscellaneous Services
Due approximately 4 weeks prior to meeting date

235 Hickory St - Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 851 E Wisconsin Ave Tax Key: PWV 0900-061 0900-064
Zoning of Property: Residential Property Owner Name: Dale Stauber
Property Owner Email: mdstauber@att.net Property Owner Phone #: 262-442-4680

APPLICANT INFORMATION (IF DIFFERENT THAN OWNER)

Applicant Name: Dale Stauber Applicant Phone #: _____
Applicant Address: _____
Applicant Email: _____

TYPE OF REQUEST: CHECK ALL THAT APPLY

- | | |
|--|--|
| ☐ Sign Plan Approval | ☐ Preliminary Plat Approval |
| ☐ Final Plat Approval | ☐ Developer's Agreement |
| ☒ Certified Survey Map | |
| ☐ Other (Describe) _____ | |

SIGNATURES

Application will not be processed without a completed Professional Services Agreement.

This signature authorizes the Village of Pewaukee to process the consultation application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Current Property Owner: Dale Stauber Date: 6/29/26
Signature of Applicant: Mary E Stauber Date: 6/29/26

DIRECTIONS

Please include the following required items with this application:

- One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less.
Also provide one full size scale copy if larger than 11x17.
- One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email) ☐
- Completed Professional Services Reimbursement Form. ☐

For Office Use Only

Staff Initials: _____

Date/Time Received: _____



CREATIVITY BEYOND ENGINEERING

DATE: August 4, 2026

TO: Village of Pewaukee Plan Commission

FR: Jake Scholbe, P.E. – Village Consulting Engineer
John Casucci, P.L.S. – Senior Project Manager

CC: Matt Heiser – Village Administrator
Mackenzie Quigley – Village Clerk
Mark Lyons – Village Planner
Matt Gralinski – Village Attorney
Dave Buechl – Director of Public Works/Engineer

RE: 851 E. Wisconsin Avenue Certified Survey Map Review – Pewaukee, WI 53072

Report

The applicant has applied for a certified survey map approval for the reconfiguration and combination of lots 17-20 at 851 E. Wisconsin Avenue, consisting of tax parcel(s) PWV 0900061 and PWC 0900064. A certified survey map of was provided.

Recommendation

We recommend approval of the Certified Survey Map (Sheets 1-5) subject to the following comments being addressed prior to final staff approval:

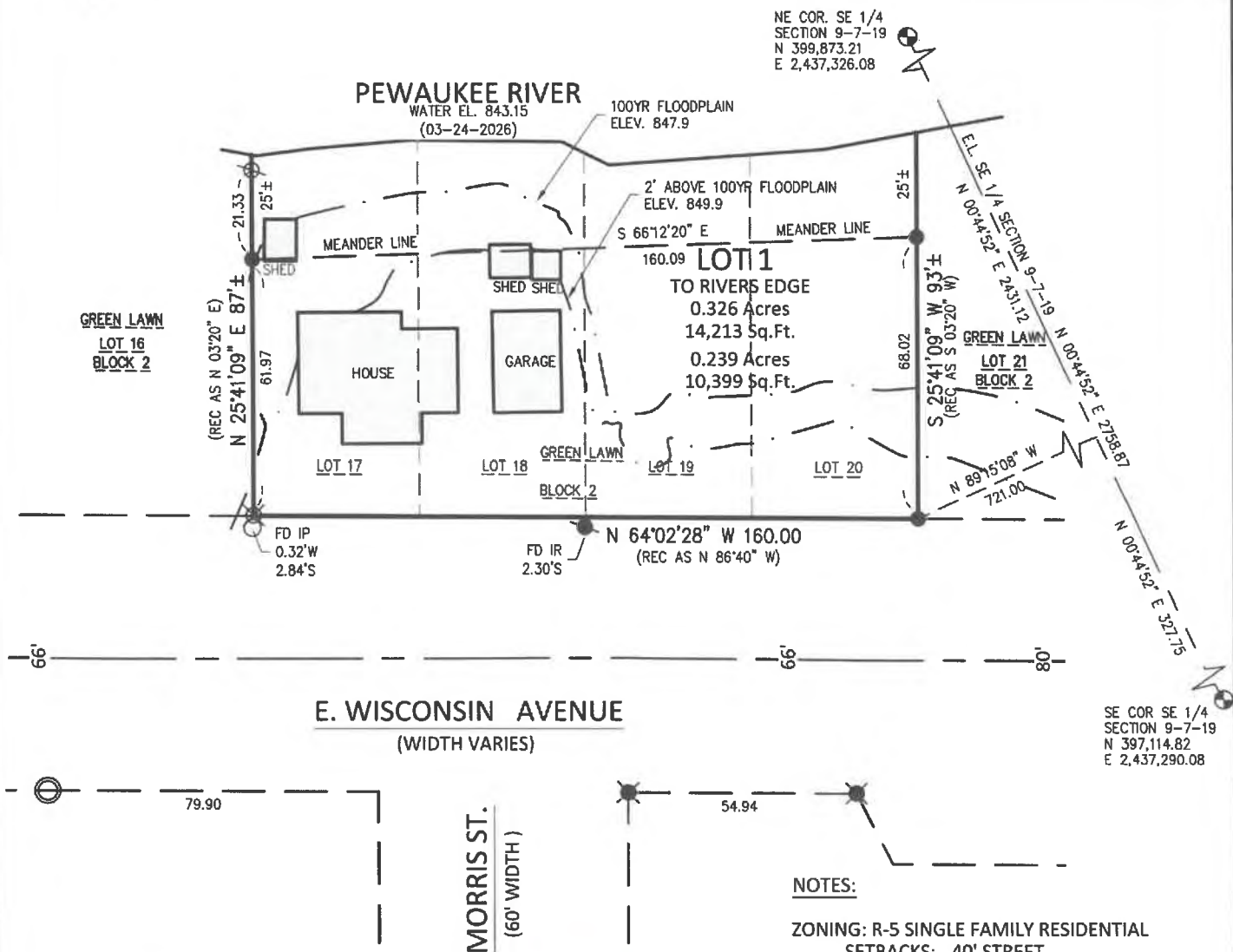
1. Sheet 1 - Overall length of shore (typically to the nearest foot) must be added, as this is the boundary dimension.
2. Sheet 2 - Ordinary High-Water Mark is to be shown and identified.
3. Sheet 2 - Public Trust information shall be added.
4. Sheet 3 – State who directed the Professional Land Surveyor to make the survey, division, and map of the land described on the CSM.
5. Sheet 4 – If applicable, a Mortgagee Certificate may be required.

CERTIFIED SURVEY MAP NO. _____

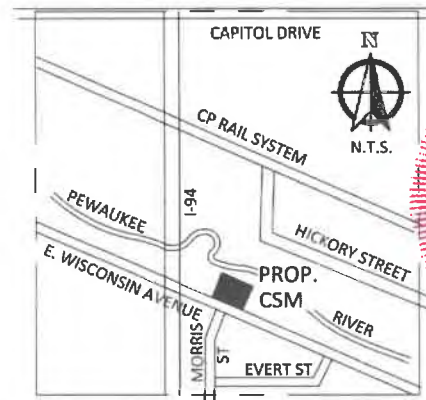
COMBINATION OF LOTS 17, 18, 19 & 20, BLOCK 2 OF GREEN LAWN
SUBDIVISION BEING PART OF THE SOUTHEAST 1/4 OF THE
SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 19
EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF
PEWAUKEE, COUNTY OF WAUKESHA, STATE OF WISCONSIN.



RECORDING DATA



LOCATION MAP



SE 1/4 SEC. 9-7-19



NOTES:

ZONING: R-5 SINGLE FAMILY RESIDENTIAL
SETBACKS: 40' STREET
35' REARYARD
15' SIDEYARD MIN.
75' 100YR FLOODPLAIN

OWNER/LAND SPLITTER: DALE & MARY STAUBER
ADDRESS: 851 E. WISCONSIN AVENUE, VILLAGE
OF PEWAUKEE, COUNTY OF WAUKESHA,
WISCONSIN 53072.

BEARINGS BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE. BASED
UPON NAD 1983/2011. THE EAST LINE OF THE SE
1/4 OF SECTION 9-7-19 IS ASSUMED TO BEAR N
00°44'52" E.

- LEGEND:
- 3/4" REBAR SET
 - 1-1/4" O.D. IRON PIPE FOUND
 - 1" O.D. IRON PIPE FOUND
 - 1" O.D. IRON ROD FOUND
 - 1-1/2" O.D. IRON PIPE FOUND
 - PINCH BAR FOUND
 - REBAR FOUND
 - CONC. MON. W / BRASS CAP FOUND



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbasc.net

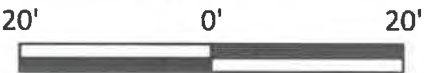
This Instrument was drafted by Calvin K. Klimeck, June 10, 2026 Revised July 31, 2026

2026.0022.01.DWG
SHEET 1 OF 5 SHEETS

CERTIFIED SURVEY MAP NO. _____

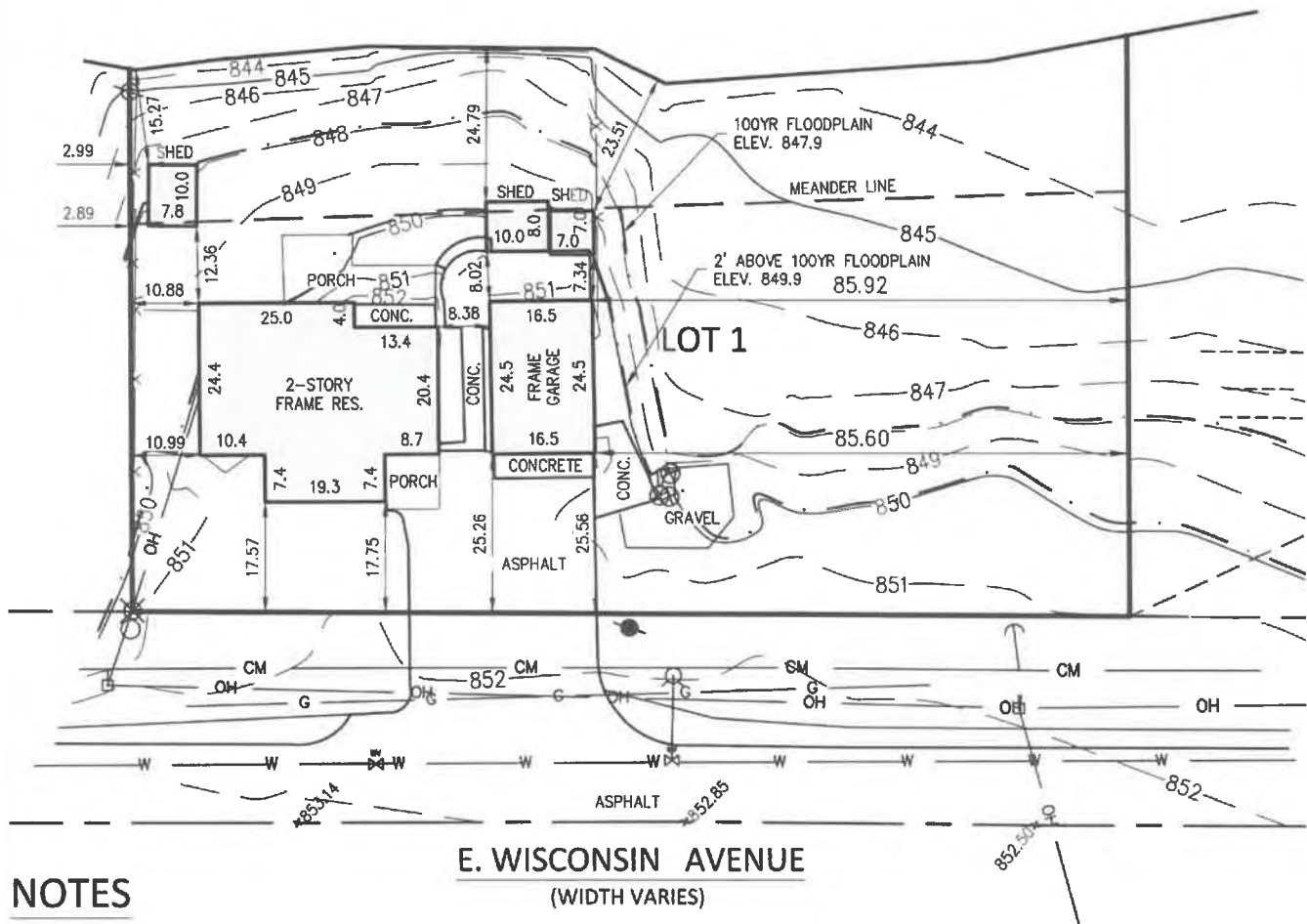
COMBINATION OF LOTS 17, 18, 19 & 20, BLOCK 2 OF GREEN LAWN SUBDIVISION BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PEWAUKEE, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

EXISTING CONDITIONS



SCALE 1"=20'

PEWAUKEE RIVER



NOTES

BEARING BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1983 / 2011.

ALL ELEVATIONS REFER TO NAVD 1988 (12).

LEGEND

- | | | | | | |
|--|-------------|--|--------------------|--|---------------------|
| | POWER POLE | | COMMUNICATION LINE | | EXISTING SPOT GRADE |
| | GUY WIRE | | GAS MAIN | | |
| | HYDRANT | | OVERHEAD WIRES | | |
| | WATER VALVE | | FLOOR DRAIN | | |



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This Instrument was drafted by Calvin K. Klimeck, June 10, 2026 Revised July 31, 2026

2026.0022.01.DWG
SHEET 2 OF 5 SHEETS

CERTIFIED SURVEY MAP NO. _____

COMBINATION OF LOTS 17, 18, 19 & 20, BLOCK 2 OF GREEN LAWN SUBDIVISION BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PEWAUKEE, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Calvin K. Klimeck, hereby certify: That I have prepared this Certified Survey Map at the direction of DALE & MARY STAUBER, Owners; That such Map is a correct representation of the exterior boundaries of the land surveyed and are described as: A combination of Lots 17, 18, 19 and 20, Block 2 of Green Lawn Subdivision, recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on June 11, 1927 as Document No. 150816, being part of the Southeast 1/4 of the Southeast 1/4 of Section 9, Township 7 North, Range 19 East of the Fourth Principal Meridian more particularly described as follows: Commence at the Southeast corner of the Southeast 1/4 of said Section 9; thence N00°44'52"E, 327.75 feet along the East line of the Southeast 1/4 of said Section 9; thence N89°15'08"W, 721.00 feet to the Southeast corner of said Lot 20, the North line of E. Wisconsin Avenue and the point of beginning of this description; run thence N64°02'28"W, 160.00 feet along the North line of said E. Wisconsin Avenue to the Southwest corner of said Lot 17; thence N25°41'09"E, 61.97 feet to a meander line located S25°41'09"W, 25.00 feet more or less from the Southerly edge of the Pewaukee River; thence S66°12'20"E, 160.09 feet along said meander line to a point located S25°41'09"W, 25.00 feet more or less from the Southerly edge of said Pewaukee River and the East line of said Lot 20; thence S25°41'09"W, 68.02 feet along said East line to the the Southeast corner of said Lot 20, the North line of E. Wisconsin Avenue and the point of beginning. Also including lands located between the meander line and the rivers edge. Said land being in the Village of Pewaukee, County of Waukesha and State of Wisconsin. Containing 14,213 square feet or 0.326 acres more or less to the rivers edge or 10,399 square feet or 0.239 acres to the meander line.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and Section 18.0600 of the Village of Pewaukee, Waukesha County, Wisconsin Municipal Code. That such map is a true representation of all exterior boundaries of the land surveyed and the land division thereof made.

July 31, 2026

Kalvin K. Klimeck, P.E., P.L.S. (S-2209)
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd. Suite 200
Racine, WI 53406
(262)634-5588



Nielsen Madsen + Barber

CIVIL ENGINEERS AND LAND SURVEYORS

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This Instrument was drafted by Calvin K. Klimeck, June 10, 2026 Revised July 31, 2026

2026.0022.01.DWG
SHEET 3 OF 5 SHEETS

CERTIFIED SURVEY MAP NO. _____

COMBINATION OF LOTS 17, 18, 19 & 20, BLOCK 2 OF GREEN LAWN SUBDIVISION BEING PART OF THE
SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 19 EAST OF
THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PEWAUKEE, COUNTY OF WAUKESHA, STATE OF
WISCONSIN.

OWNERS' CERTIFICATE

Dale and Mary Stauber, as Owners, does hereby certify that we has caused the lands described on this map to
be surveyed, divided, and mapped as represented on this Certified Survey Map. We also do further certify that
this Certified Survey Map is required to be submitted to the following for approval: Village Board of the Village of
Pewaukee, Waukesha County, Wisconsin.

IN WITNESS WHEREOF the said Dale and Mary Stauber, have caused these presents to be signed as Owners
at _____ Wisconsin on this _____ day of _____, 202_.

Signature

Signature

Dale Stauber

Mary Stauber

STATE OF WISCONSIN)
COUNTY OF _____)

Personally came before me this _____ day of _____, 202_, _____ of
the above-named Dale and Mary Stauber, to me known to be the persons who executed the foregoing
instrument, and acknowledged the same.

Signature: _____

Notary Public, _____

My commission expires: _____



CERTIFIED SURVEY MAP NO. _____

COMBINATION OF LOTS 17, 18, 19 & 20, BLOCK 2 OF GREEN LAWN SUBDIVISION BEING PART OF THE
SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 19 EAST OF
THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PEWAUKEE, COUNTY OF WAUKESHA, STATE OF
WISCONSIN.

PLANNING COMMISSION APPROVAL

APPROVED by the Planning Commission of the Village of Pewaukee on this _____ day of _____ 202_.

Jeff Knutson, President
Village of Pewaukee

Mackenzie Quigley, Clerk
Village of Pewaukee

VILLAGE BOARD APPROVAL

APPROVED by the Village Board of the Village of Pewaukee on this _____ day of _____ 202_.

Jeff Knutson, President
Village of Pewaukee

Mackenzie Quigley, Clerk
Village of Pewaukee



Nielsen Madsen + Barber

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